

RESOLUTION NO. 2986

RESOLUTION ADOPTING THE CITY'S 6-YEAR PARKS AND RECREATION PLAN 2023-2028 AND APPROVING SUBMISSION OF THE PLAN BY PUBLIC WORKS TO THE WASHINGTON STATE RECREATION AND CONSERVATION OFFICE

WHEREAS, the City previously entered into an Owner-Engineer Agreement via Task Order No. 2022-01 with one of the City's retained engineering firms – HLA Engineering and Land Surveying, Inc. (HLA) – relative to the City's Parks and Recreation Plan 2023-2028 (Plan); and


WHEREAS, HLA has completed its planning and drafting work on the Plan, and the terms of the drafted Plan are acceptable to City staff; and

WHEREAS, the next step in the process is for the City to adopt the Plan, which Public Works has requested the City Council to do; and

WHEREAS, after the City adopts the Plan, the next step thereafter will be for the City to submit the Plan to the Washington State Recreation and Conservation Office for approval, and Public Works has also requested that the City Council authorize such submission;


NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SELAH, WASHINGTON, that the City Council adopts the 6-Year Parks and Recreation Plan 2023-2028 and authorizes Public Works to submit said Plan to the Washington State Department of Ecology for approval.

PASSED AND ADOPTED BY THE CITY COUNCIL OF THE CITY OF SELAH, WASHINGTON, this 28th day of February, 2023.




Sherry Raymond, Mayor

ATTEST:



Dale E. Novobielski, Clerk/Treasurer

APPROVED AS TO FORM:



Rob Case, City Attorney



PARKS AND RECREATION PLAN



PROJECT NO. 21201E



CITY OF SELAH

PARKS AND RECREATION PLAN 2023 - 2028

Prepared by:



PROJECT NO. 21201E





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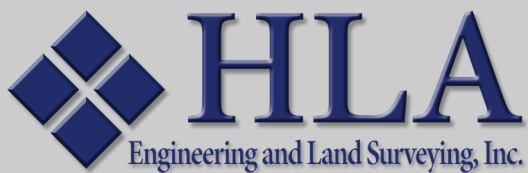
FIGURE 2-1 SELAH PARKS AND RECREATION FACILITIES.....2-10





CHAPTER 1

BACKGROUND





CHAPTER 1 – BACKGROUND

1.1 PURPOSE

This plan is intended to supplement and update the 2013 City of Selah Parks and Recreation Plan. This update does not replicate the 2013 Plan in its entirety, but selectively reassess key issues and concerns to assist the City of Selah, Recreation, and Public Works Departments as they plan for the coming years of growth and change.

Numerous groups were involved in the formation of this plan including the Recreation Department staff, Public Works staff, HLA Engineering and Land Surveying, Inc., and the public. HLA reviewed all feedback to determine how the parks system has changed since 2013, what improvements are necessary for the system to properly function at present, and what must be done to ensure the system meets the needs of the community in the coming years.

1.2 SELF CERTIFICATION

The July 2021 Recreation Conservation Office (RCO) guidance for creating a Parks and Recreation Plan states that they look for a minimum of six elements in a plan: Goals and Objectives, Inventory, Public Involvement, Demand and Need Analysis, Capital Improvement Program, and Adoption. The RCO also requires that the sponsor of an RCO approved plan provide a Self-Certification document. This document can be found in CHAPTER 9.

1.3 RELATIONSHIP TO OTHER PLANS

Selah's planning efforts are designed to be coordinated and consistent with other City, Yakima County, Washington State, and federal plans.

1.3.1 Statewide Parks and Recreation Planning

Washington State Parks and Recreation Commission adopted the Centennial 2013 Plan and promoted three priorities:

1. Fix what we have.
2. Upgrade existing parks, trails, and services.
3. Add new trails and services and work toward opening new parks in the future.

One of the new trail projects in the state-wide Plan is to work towards completing cross-state trails connecting Tri-cities to South Bend.

The Washington State Recreation and Conservation Plan 2018-2022 provides strategic direction and guides investment to ensure outdoor recreation and conservation remain a statewide priority for quality of life. The Plan's top five priority areas for parks, trails and conservation lands are:

1. Sustain and grow the legacy.
2. Improve equity.
3. Get youth outside
4. Plan for culturally relevant places to meet changing demographics.
5. Assert recreation and conservation as vital public services.



1.3.2 Regional Planning

Selah is one of 14 cities or towns, together with Yakima County, and Washington State Department of Transportation (WSDOT), that collectively plan as an organization called Yakima Valley Conference of Governments (YVCOG). In 2016, the organization updated the 2020-2045 Metropolitan and Regional Transportation Plan (M/RTP). The purpose of the M/RTP is to describe the region's current values, goals, policies, travel patterns, local, state, and interstate transportation infrastructure and services. Land use changes, population changes, and anticipated legislative changes are then projected over the next 20 years and the resulting transportation infrastructure and services needs identified to accommodate those changes are assessed. Grant money that is reasonably expected from federal, state, and local sources is budgeted to determine how the infrastructure and service changes can be accomplished and when. The Selah Parks and Recreation Plan will ensure consistency with YVCOG's M/RTP sections describing the South-Central Sub-region transportation systems including pedestrian and bicycle facilities.

1.3.3 County-wide Parks and Recreation Planning

The Yakima County Comprehensive Plan Horizon 2040 was adopted and became effective on June 27, 2017. Yakima County separated the Recreation and Parks Element from the Capital Facilities Element and included the Parks and Recreation Element independently as Chapter 8 of Horizon 2040.

Yakima County's park and open space goals are grouped in two general categories:

1. Environment, and Quality of Life.
2. Government Services.

Inventorying public open space and defining lands to be protected and preserved now and lands preserved for future generations are topics covered under the environmental heading. Inventorying and protecting historical sites, expanding consensus and direct financial involvement for parks and recreation to include private/public and private/non-profit partnerships, promoting activities, celebrations, and festivals in parks, supporting accessible and affordable entertainment, and performing arts are topics covered under the heading of Quality of Life and Government Services. Much of the data and analysis performed by the County will be used in this Plan for coordination and consistency.

1.3.4 City Planning Consistencies

The City of Selah updated the City's Comprehensive Plan in 2017. The purpose for developing the City Facility Plan (CFP) now is to consolidate summary information for the City's infrastructure systems from the 2017 Comprehensive Plan, 2021 Comprehensive Plan Update, and add significant detail to create an easy to reference stand-alone document. The previous CFP was completed in 2012.

Selah's 2017 Comprehensive Plan update included a Parks and Recreation section in the Capital Facilities Element which summarized information initially from the 2014-2019 Parks and Recreation Plan and updated remaining projects for a six-year time frame.

The City's Park and Recreation updated priorities were also identified in Selah's Central Urban Area Sub-Area Plan reviewed by City Council on July 10, 2019. Although parks in Selah were inventoried and improvements summarized in the Sub-Area Plan, less of an emphasis was placed on how to improve the parks system and more of an emphasis was placed on how to use wayfinding as a means of promoting the Parks and Recreational opportunities.



Since the development of the Comprehensive Plan and Sub-Area Plan, Selah demolished the municipal pool, and a new Selah Aquatic Center was constructed. The aquatic center is owned and operated by Selah Park and Recreation Service Area Board, a junior taxing district governed by a seven-member volunteer board appointed by the City, and the Yakima County Commissioners.

School District owned park and recreation amenities are mentioned in the Capital Facilities Plan (CFP) and included in Table 2-3. Transportation improvements near school properties are often joint ventures between a City and School District. Mention of the School District facilities does not imply the City of Selah is responsible for preservation or improvement of these facilities.

1.4 HISTORY, PHYSICAL SETTINGS, AND CLIMATE

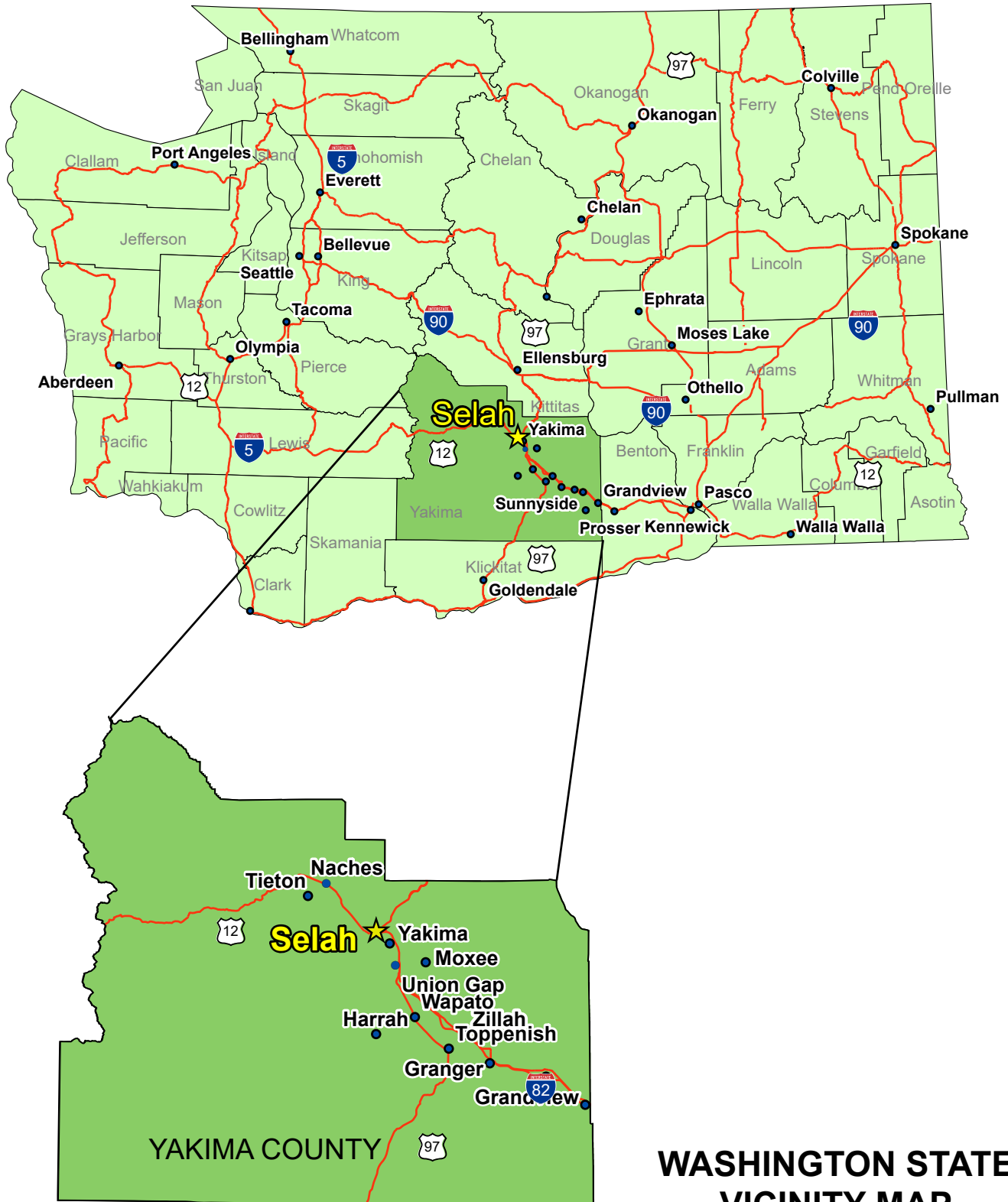
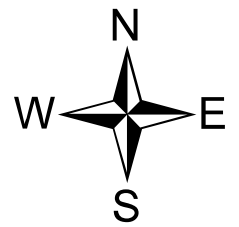
The City of Selah, incorporated in 1919, is in the south-central portion of Washington State in Yakima County, as shown in Figure 1-1 Washington State Vicinity Map. The City lies along Interstate 82, approximately three miles north of the City of Yakima. Selah is the largest bedroom community to the City of Yakima. As a result of increasing growth within the Yakima Valley, there has been a significant increase in population both within Selah and areas surrounding the City. Selah established their future service area in cooperation with Yakima County through the Growth Management Act planning process in 2016, as shown in Figure 1-2.

In 2013, the City of Selah adopted the *2014-2019 Parks and Recreation Plan*. The 2013 Plan explored the inventory of parks and open spaces maintained by the City, determined the satisfaction with City-owned parks and open spaces by conducting a comprehensive community involvement process, developed objectives and priorities to preserve and improve the recreational areas, and identified a capital improvement program to estimate scheduling and budget needs for those improvements.

The community owns and operates City buildings, roadways, parks and recreation facilities, a domestic water system, a sanitary sewer system, a storm drainage system, and transit service within its immediate service area. The City of Selah purposefully plans for the upgrade and operation of each of these individual systems and strives to keep planned improvements both feasible and coordinated. The City of Selah's planning efforts are designed to be coordinated and consistent with other City, Yakima County, Metropolitan, and Regional Transportation Planning Organization, Washington State, and federal plans.

1.4.1 Physical Settings

The City of Selah is situated in the northern portion of the Yakima Valley, in Central Washington State. The community of Selah is located on I-82 just north of Yakima. The City is approximately 140 miles southeast of Seattle and 200 miles southwest of Spokane making it almost equal distance from Seattle, Spokane, Walla Walla, and Portland.



**WASHINGTON STATE
VICINITY MAP
FIGURE 1-1**



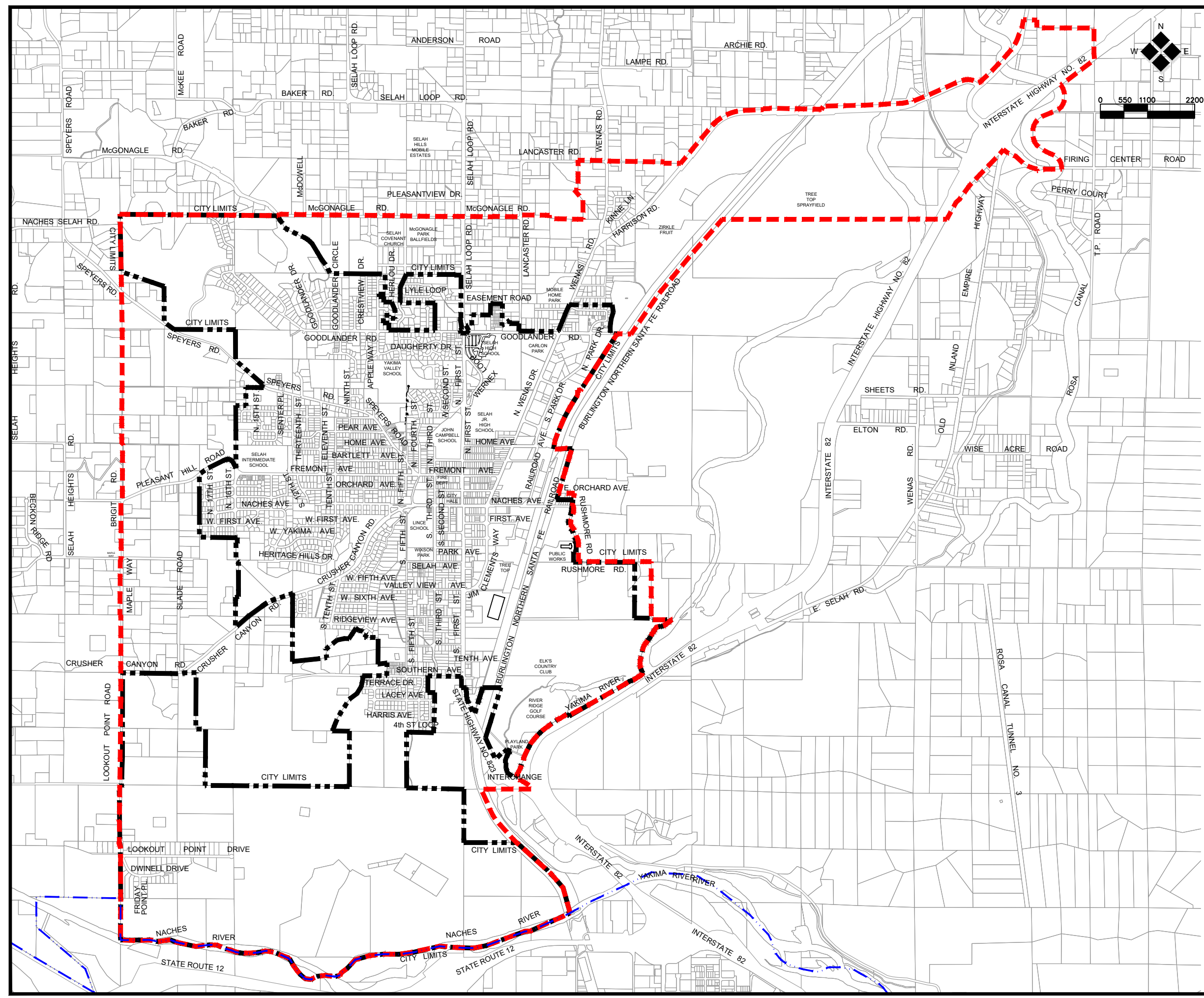
CITY OF SELAH

CITY LIMITS AND URBAN GROWTH AREA (UGA)

CAPITAL FACILITIES PLAN

LEGEND

- SELAH CITY LIMITS
- SELAH UGA BOUNDARY




HLA
Engineering and Land Surveying, Inc.

2803 River Road
Yakima, WA 98902
509.966.7000
Fax 509.965.3800
www.hlacivil.com



1.4.2 Climate

The climate for the Yakima Valley, including the Selah area, is generally characterized as mild and dry. Summers are generally dry and hot. Sunshine prevails about 85% of the summer and temperatures generally range from 65 to 90 degrees, but dry air results in sudden temperature drops after sunset. Temperatures of 100 degrees frequently occur in the months of July and August. The growing season is typically May 15th to October 3rd and frost-free days range from 130 to 180 days per year.

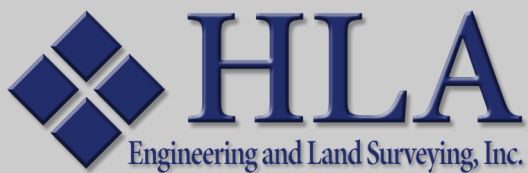
Precipitation is minimal with an annual average of 7.2 inches. Irrigation is essential for nearly all crops grown in the Yakima Valley. The Yakima Valley relies on snow accumulation in the Cascade Mountain range for an adequate supply of water for irrigation.

Winds are generally light, averaging about 7 miles per hour. Stronger winds ranging from 30 to 65 miles an hour occasionally occur in the spring. During winter months, air stagnation can cause a build-up of pollutants in the Yakima Valley.



CHAPTER 2

INVENTORY AND EXISTING CONDITIONS





CHAPTER 2 – INVENTORY AND EXISTING CONDITIONS

2.1 CITY FACILITIES AND PROPERTIES

As shown in Figure 2-1, Selah has nine parks totaling approximately 45 acres, an aquatic center, and one civic center that are used for public recreation. Table 2-1 presents City parks and the presence or lack of recreational equipment or infrastructure at each location. The City Council adopts the operation and maintenance budget each year for Parks and Recreation. The adopted budgets for Recreation and Parks can be viewed at: <https://selahwa.gov/finance/2013-budget>

2.1.1 Baseball/Softball Sport Complexes

When people think of Selah, they think of baseball. The first baseball team in Selah was formed in 1911. Over the last 100 years, Selah baseball has seen many state titles, all-star players, and collegiate scholarships offered. Selah's sport complexes are multi-use facilities that provide consistent revenue for the Parks and Recreation Department. These sport specific parks are large, well-maintained and attract families, teams and clubs from all over the Yakima Valley and around the state.

2.1.1.1 Carlon Park

The only location for high school level baseball is Wood Field at Carlon Park. Many community members and local organizations have contributed to the outstanding appearance of this field. Due to the climate and ability to play many months out of the year, Wood Field is often used into the evening hours.



Carlon Park is one of the most popular destinations for softball in Central Washington. With multiple top tier fields, announcer's booth, restrooms, snack bar, and exceptional field quality, Carlon Park has become a hub for softball and City events. Carlon Park is home to the Greater Yakima Girls Softball Association (GYGSA) who host 5-6 tournaments each year and draws teams from as far away as Canada. In addition, since 2009 Carlon Park has been chosen to host the High School Fast Pitch State Softball Tournament.

The tennis courts at Carlon Park sit behind the baseball field. These courts supply the only practice/match area for Selah High School Tennis, as well as community member use. Since this is one of the few areas in Selah with lights, community members often use this space after the high school finishes their practices.

Finally, the Carlon Park Skate Park continues to be used by youth in the community with sufficient skating space for younger kids.



Previous Accomplishments

In 2018, the City of Selah accomplished installed a playground, a goal set in the previous Comprehensive Plan. Through multiple open forums, Selah Parks and Recreation found that citizens were looking for a park designed for younger children, so a play set was installed that included a lower entrance level, lower critical fall height, and more protected areas on upper levels.

Since the playground upgrade, this park is used extensively during tournament and event times, as well as during the off season – a time when this park usually lies quiet. Since this park is located near major shopping, schools, and multiple sport opportunities, the City of Selah is excited to have completed this much needed update for the community.

Needs Assessment

The old restroom in this park is in desperate need of updating. The old concession and restroom building are currently being used for secondary restroom access and storage, but much of the building remains empty.

While many updates have been completed on Wood Field, one large and extremely essential update is new field lighting. The current lighting is outdated, using more energy, and costing more to operate than new lights would cost. In addition, one of the light poles is twisting and beginning to cause concern.

The tennis courts surfaces are showing cracks and sunken areas and the north court needs to be completely replaced.

The skate park does not have a covered shelter with a place to sit. Older youth would benefit from updated and more advanced skate park facilities.

2.1.1.2 McGonagle Park

McGonagle Park is centrally located in neighborhoods, and near churches and active community areas. Home of the Selah National Little League, McGonagle Park is a complex of four youth baseball fields and is highly used during baseball season. McGonagle Park allows for multiple games at the same time and is a full-service complex for youth baseball with bleachers, announcer’s booths, restrooms, batting cages, and a concession stand.



Needs Assessment

There is not a playground area for kids to play.



2.1.2 Community Parks

More passive in nature, Selah's community parks are a staple of the play community and provide the most diverse services throughout town.

2.1.2.1 Playland Park

Playland Park is the City of Selah's only established park near the Yakima River. Set in a unique location where the trees are as grand as the view, Playland Park is rich in history and a keepsake for the City of Selah. Playland boasts huge mature trees, large green spaces, a paved walking path, basketball court, horseshoe pits, a sand volleyball court, sheltered area with power and charcoal grills, and a viewing dock for fishing on the river. Playland is, arguably, one of Selah's most diverse and inclusive parks. However, it is also one of our most underused spaces due to outdated and dilapidated amenities.

Needs Assessment

The playground equipment is old and lacks any structures worthy of engagement.

The basketball court at Playland Park needs to be replaced. With fully mature trees and flooding, the basketball court now has major cracks where the roots have pushed the asphalt up.

The Playland sign is original and worn out. While the structure is still sound, the painting is mostly gone and the information is hard to read.

2.1.2.2 Wixson Park

Wixson is easily Selah's most heavily used Community Park. With 5 picnic shelters, a playground, plenty of greenspace, bathrooms, and central location, Wixson Park is often the first thought for community members and user groups. The Selah Parks and Recreation Department can attest to the frequent requests for park shelter rentals at Wixson and the consistent use by local agencies throughout the year. Everything from small birthday parties, library gatherings, large family reunions to massive city-wide events can be seen at Wixson Park. In the past, this park has hosted Selah Community Days, Community Easter Egg Hunts, Christmas parties, National Night Out, Cruise Nights, and many more. Further, the history of this location dates back to nearly the incorporation of Selah.

Previous Plan Accomplishments

In the previous Comprehensive Plan, a few of the recommended items were accomplished including transitioning the spray pad into a covered shelter.

Needs Assessment:

Wixson Park needs new bathrooms. The current structure constructed in the 1950s needs to either be brought up to code (as recommended in the previous Comprehensive Plan) or replaced entirely. Along with the bathroom improvements, the restrooms need ADA access. This would be at a lower cost and could include a walking path from the large gazebo to the bathrooms. This would give ADA access to the parking spaces, through the park, and to the bathroom building.

Due to the high traffic use at the shelters, Wixson Park lacks wayfinding and shelter name signs. The public is constantly informing the Parks and Recreation office of the need for more information about the park. Providing informational signage and increasing communication on-site will greatly improve the flow of park use and rentals.



2.1.2.3 Volunteer Park aka Dolores Huerta Park



Volunteer Park aka Dolores Huerta Park has become a source of great pride in the Selah Community. Awarded a Municipal Excellence Award by the Association of Washington Cities in 2019, Volunteer Park aka Dolores Huerta Park was the primary focus of the last Comprehensive Plan, and the results are incredible. What was once a dusty field in the middle of town, is now a beautiful park, providing equal and collaborative play for everyone. Through the efforts of the City of Selah, countless community members, generous donations from the Yakima Valley, and a grant from the Washington State Recreation and Conservation Office, Volunteer Park aka Dolores Huerta Park is gaining the attention from recreational leaders throughout the State and continues to draw visitors from all over the State.



Today, Volunteer Park aka Dolores Huerta Park includes a solid surface playground allowing for full access by all mobility types, inclusive play equipment for all age levels including structures allowing for wheelchair access, ADA accessible zip line swings, auxiliary climbing structures, disc golf course, large trees, and tables and benches. A new ADA accessible bathroom, drinking fountains, and a walking path make this an exceptional park for all to enjoy.

Previous Plan Accomplishments

At the development of the previous Comprehensive Plan, this space was still a dusty field – so all the goals set to complete this space were accomplished within the last five years. It is safe to say most of the effort put into Selah Parks throughout the last eight years was at Volunteer Park aka Dolores Huerta Park. The City of Selah was awarded a Washington State Wildlife and Recreation Program Grant from the Washington State

Recreation and Conservation Office to complete this project. As such, nearly all of the goals in the previous Comprehensive Plan were accomplished. This included clearing the land and building the park and everything in it. Initial clearing the land rendered concern over the soil content and a huge push from Selah Public Works, HLA Engineering and Land Surveying, Inc., and Chris' Excavation was done to ensure safety for park users. After safe soil testing, the Selah Public Works and countless volunteers and companies helped make the vision of an all-inclusive park a reality. Installation of an ADA accessible restroom, walking path, and playground were completed, and full paved parking lot as well.

Needs Assessment

There are no shade structures around the walking path and adjacent to the playground.





2.1.3 Neighborhood Parks

Small in nature, Selah’s Neighborhood Parks are primarily for visual purposes and give greenspace throughout the City. Selah owns four neighborhood parks:

- a. Legion Park
- b. Sunrise Park
- c. Palm Park
- d. Veterans Park

Each park has green grass, trees, and at least one bench to sit on. Collectively, these four parks make up 2.6 acres of the Selah Parks Network. Due to their limited size, improvements are neither necessary nor requested. They provide a space as needed for those who are passing by, but don’t have parking or access for a larger crowd of people. Because of this, it is suggested the minimal changes be made over the next 5 years so attention and resources can be focused elsewhere.



The following is a detailed list of each of the parks and their amenities.

2.1.3.1 Legion Park

The purpose of this small park is to provide green space within the neighborhoods of Selah. Its amenities are limited and but the aesthetic benefit to those passing by makes it worth keeping in good condition.

2.1.3.2 Sunrise Park

Like Legion Park, the primary benefit of this small park is the green space it provides for the community. And since Sunrise Park is in a school zone, the green space also provides safety spaces for children walking to and from school.

2.1.3.3 Palm Park

An exception to the other neighborhood parks, Palm Park is perfectly located in one of Selah’s most established neighborhoods. In the past, Palm Park included a play structure, basketball court, green space, and picnic tables. However, due to wear and tear, the play structure was removed in 2017. Since the removal, many neighbors have contacted Selah Parks and Recreation department asking about a replacement structure.

Needs Assessment

As stated above, installation of a playground at Palm Park would be well received by the neighborhood. It would also give families in Selah another place to play.



2.1.3.4 Veterans Park

Veterans Park, located near the Selah School District Administration Office, showcases an American Flag, and a flag for each branch of the military. There is also a fountain and walking path for visitors. Though this park is small, its value is much larger.



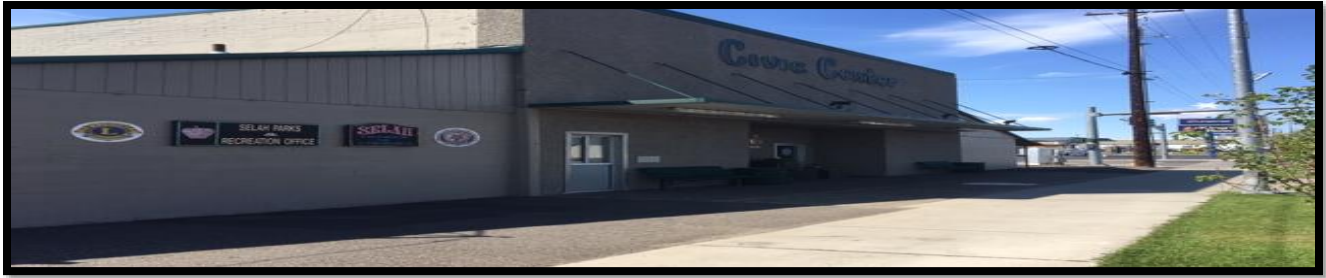
Needs Assessment

Much of Veterans Park is still in great condition and looks well kept. However, there is not a memorial wall to honor our local veterans.

2.1.4 Special Purpose Park: Trolley Park

Selah's Trolley Station Park is identified as a special purpose park because its significance is quite different than typical parks. Trolley Station Park is a terminal point and historic site for an interurban trolley that runs between Selah and downtown Yakima throughout the summer months and during holidays.





2.1.5 Indoor Facility: Selah Civic Center

Selah Parks and Recreation owns and operates one indoor facility at the Selah Civic Center. The Selah Civic Center provides an opportunity for Selah Parks and Recreation to offer programs to the community unlike any other within the department. Not only is the Civic Center a keepsake in the Selah community, because it is the only indoor facility owned by the City of Selah and operated by Selah Parks and Recreation, its value and purpose is unmatched.

Due to the size of the building and large open rooms, the Selah Civic Center houses several programs and has become a hub for public meetings, fundraisers, and community gatherings. Programs and functions of the Civic Center include:

- Afterschool Program
- Business Meetings
- Community Group Meetings
- Fundraisers
- Harvest Church
- Matinee Dance Group
- Nutrition Programs
- Parks and Recreation Office
- Recreation Classes
- Senior Center Activities
- Senior Exercise Classes
- Senior Meals
- Senior Pinochle
- Senior Tech Classes

Amenities include the kitchen, dining room, main hall, legion room, senior room, and parking lot. People for People, a local non-profit, uses the Civic Center five days a week to prepare and serve healthy meals to seniors and depends on the Civic Center for preparation and delivery of healthy meals to homebound seniors in Selah and nearby communities. The Civic Center has enough tables and chairs to seat 400 guests. Further, the Civic Center is currently the hub for the Selah Food Bank and Selah Shares Clothing Bank. These two services are provided at no cost to the City, and both groups share a small space for storage of their items. Finally, the Civic Center is the primary transit center for the City of Selah. Selah Transit uses Civic Center as the central transit hub and all routes filter off the Civic Center. All these programs create a daily flow of traffic around the Civic Center, proving the importance of upkeep and improvements to the facility.

The Civic Center is the hub for seniors, meetings, and community outreach. And as the needs of the community grow, we must adjust the building to grow as well.



Along with all the members served at the Civic Center, many repetitive groups need to utilize the building for storage. Storage space is used on a consistent basis by the following groups:

- People for People
- Red Cross Blood Drives
- Selah Chamber of Commerce
- Selah Computer Class
- Selah Food Bank
- Selah Parks and Recreation
- Senior Center
- Senior Exercise
- The Legion Post 88
- Tops Fitness Club

Previous Plan Accomplishments

In the past eight years many improvements have been made in accordance with the past Comprehensive Plan. Perhaps of most significance, the Civic Center Parking lot is now fully paved. This welcomed addition was complemented by an island complete with grass, power, and lights. Overall, this project was a great addition to the functionality of the parking lot as well as the aesthetic benefits. Since the Civic Center is now the main transportation center for Selah and this parking lot allows for sufficient flow for the buses and parking for members using the transit center. A new door was added to the front foyer area equipped with a panic bar.

Needs Assessment

In 2022, the City hired HLA Engineering and Land Surveying, Inc. to conduct the Selah Civic Center Building Evaluation and Planning Report. The intent of the on-site building evaluation is to assist the City in identifying and evaluating the general condition of the Civic Center, identifying accessibility issues and recommending corrective measures. Other goals include evaluation of current space use and looking at some potential options to enhance the current function and accommodating future growth and operations of the building. A copy of this report is included in CHAPTER 9.



TABLE 2-1 EXISTING PARKS AND RECREATION FACILITIES

| Amenities | Sports Parks | | Community Parks | | | Neighborhood Parks | | | |
|--------------------------------|------------------------------|-----------------|--------------------------------|------------------------------|--|--------------------|-----------|-------------------|-----------------|
| | Carlton | McGonagle Park | Playland/ Riverside Park | Wixson Park | Volunteer Park (aka Dolores Huerta Park) | Legion Park | Palm Park | Veteran's Park | Sunrise Park |
| Total Site Acreage | 16.5 | 9.8 | 2.8 | 8.0 | 5.0 | 0.8 | 1.0 | 0.5 | 0.3 |
| Hard or Sport Court | | | X | | | | X | | |
| Baseball Fields | X | X | | | | | | | |
| Softball Fields | X | | | | | | | | |
| Tennis Courts | X | | | | | | | | |
| Skate Park | X | | | | | | | | |
| Restrooms | X | X | X | X | X | | | | |
| Playground Equipment | X | | X | X | X | | | | |
| Picnic Tables and/or Benches** | X | X | X | X | X | | X | | X |
| Parking Spaces - onsite | X | X | X | X | X | X | | | |
| Parking nearby | X | X | | | | | | | |
| Predominate Greenspace | | | X | X | X | X | X | X | X |
| Walking Path | X | X | X | | X | | | | |
| Other Facilities | Concession Area | Concession Area | Grills | Concession Area | | Lighted Flagpole | | Tribute Flagpoles | |
| | Bleachers | Meeting Room | Picnic shelter with outlets | Grills | | Bench | | Flower Garden | |
| | Press Box at Softball Fields | | Pit Toilet | Picnic shelters with outlets | | Bike Lane Access | | | |
| | Pickleball Courts | | River Viewing Deck | Gazebo | | | | | |
| | | | River Access | Electricity | | | | | |
| | | | Drinking Fountain | Concrete Platform/Stage | | | | | |
| | | | Near Yakima Greenway | | | | | | |






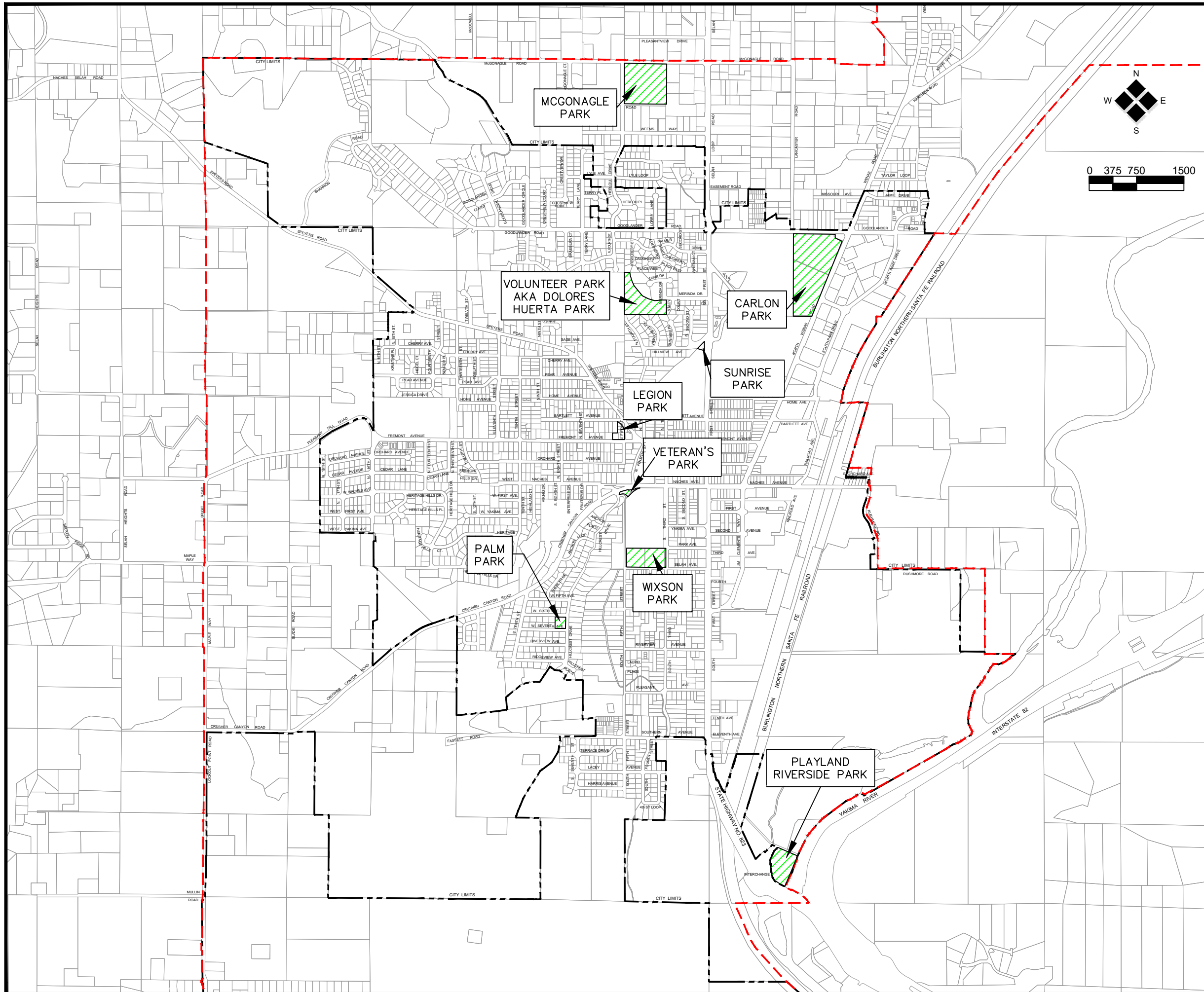
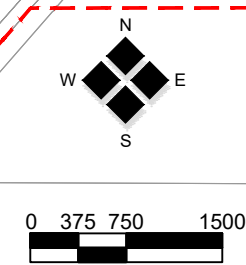
CITY OF SELAH

CAPITAL FACILITIES PLAN

PARK AND RECREATION FACILITIES

LEGEND

-  CITY LIMITS
-  UGA BOUNDARY
-  PARKS




HLA
Engineering and Land Surveying, Inc.

2803 River Road
Yakima, WA 98902
509.966.7000
Fax 509.965.3800
www.hlacivil.com



2.2 CITY PROGRAMS

Except for 2020, the Parks and Recreation Department customarily offers a variety of recreation activities as shown in Table 2-2. The City may utilize facilities owned and operated by the School District to hold City-sponsored events or activities. Although the City is not responsible for preservation or improvements to School District properties, a similar recreation inventory covering School District recreational equipment and infrastructure is included in the CFP because of the funding nexus between School Districts and Cities. Table 2-3 presents the School District’s recreation facility inventory.

The City of Selah has a variety of youth and adult programming. The Recreation Department offers youth basketball, a football camp, soccer, tennis, and partners with Skyhawk’s to provide multiple summer camps.

The Civic Center offers senior meals, multiple yoga classes, senior exercise, TOPS (taking off pounds sensibly), Community dances, stretch and balance, and fall prevention classes.

| TABLE 2-2 INVENTORY – PROGRAMS/RENTAL FACILITIES | | |
|--|----------------------------|-------------------|
| Youth Activities | Senior Activities | Rental Facilities |
| Basketball (Winter) | Community Dance | Carlson Park |
| Soccer (Spring, Fall) | Senior Exercise | Civic Center |
| SkyHawks Camps (Summer) | Yoga | Playland Park |
| Tennis (Summer) | Fall and Balance | Wixson Park |
| Football Camp (Summer) | Flexibility and Stretching | |
| | Meals on Wheels | |

2.3 PRIVATE RECREATIONAL FACILITIES

The City relies heavily on the Selah School District to provide facilities to conduct youth sports. The School District has more than 107 acres of usable space. The School District field and gym space are scheduled through ML Scheduler on the District’s website. Other groups may also request School District space, though the City typically has priority. Youth basketball, football, and soccer are conducted on School District fields and courts. The City utilizes Selah Middle School and Selah Intermediate School for soccer, Selah High School for football camps, and Robert Lince Kindergarten, John Campbell Primary, Selah Intermediate School, Lince Gym, and Selah Middle School for basketball.





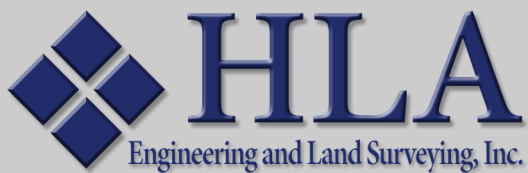
TABLE 2-3 SELAH SCHOOL DISTRICT RECREATIONAL FACILITIES

| Amenities | Lince | John Campbell | Selah Intermediate | Selah Middle School | Selah High School |
|---------------------------------|---------------------|---------------------|---------------------|------------------------------------|------------------------------------|
| Total Site Acreage | 13.49 | 15.65 | 17.48 | 32.44 | 28.78 |
| Baseball and/or Softball Fields | | | X | X | X |
| Football and/or Soccer Fields | X | X | X | X | X |
| Track and Field Accommodations | | | | X | |
| Hard or Sport Court | X | X | X | X | |
| Playground Equipment | X | X | X | | |
| Gymnasium | X | X | X | X | X |
| Other Facilities | Open free play area | Open free play area | Open free play area | Open free play area | Open free play area |
| | | | | Multi-purpose room and common area | Multi-purpose room and common area |
| | | | | Fitness Room | Wrestling Room |
| | | | | | Weight Room |



CHAPTER 3

COMMUNITY PRIORITIZATION





CHAPTER 3 – COMMUNITY PRIORITIZATION

3.1 COMMUNITY DEMOGRAPHICS

According to the most recent 2020 census, the population of Selah is 8,355. Estimates show that Selah is growing at a rate of 1.22% annually and the population has increased by 2.48% since the 2010 census, which reported a population of 8,153. Selah has a population density of 1,811 people per square mile.

The average income is \$51,060 with a poverty rate of 9.85%. Home ownership is 49.2% with 50.8% of people renting their home.

28.66% of people in Selah are high school graduates, 18.79% have some college education, 12.79% have an Associate Degree, 18.29% have a Bachelor Degree, and 9.79% of Selah residents have a graduate degree or higher.

Selah has an employment rate of 64.1% while the unemployment rate sits at 3.7%.

3.1.1 Population By Age

Table 3-1 illustrates the population trends as found in the United States Census Bureau's American Community Survey.

| TABLE 3-1 SELAH POPULATION DATA | | | | | | |
|---|-------|-----|-------|------|--------|------|
| Population | Total | % | Male | % | Female | % |
| Under 5 years | 614 | 7.7 | 3.79 | 10.6 | 235 | 5.4 |
| 5 to 9 years | 673 | 8.5 | 219 | 6.1 | 454 | 10.4 |
| 10 to 14 years | 533 | 6.7 | 296 | 8.2 | 237 | 5.4 |
| 15 to 19 years | 568 | 7.1 | 180 | 5.0 | 388 | 8.9 |
| 20 to 24 years | 636 | 8 | 190 | 5.3 | 446 | 10.2 |
| 25 to 29 years | 702 | 8.8 | 220 | 6.1 | 482 | 11.0 |
| 30 to 34 years | 525 | 6.6 | 227 | 6.3 | 298 | 6.8 |
| 35 to 39 years | 553 | 6.9 | 320 | 8.9 | 233 | 5.3 |
| 40 to 44 years | 414 | 5.2 | 222 | 6.2 | 192 | 4.4 |
| 45 to 49 years | 373 | 4.7 | 98 | 2.7 | 275 | 6.3 |
| 50 to 54 years | 485 | 6.1 | 346 | 9.6 | 139 | 3.2 |
| 55 to 59 years | 577 | 7.3 | 309 | 8.6 | 268 | 6.1 |
| 60 to 64 years | 430 | 5.4 | 263 | 7.3 | 167 | 3.8 |
| 65 to 69 years | 326 | 4.1 | 140 | 3.9 | 186 | 4.3 |
| 70 to 74 years | 124 | 1.6 | 56 | 1.6 | 68 | 1.6 |
| 75 to 79 years | 100 | 1.3 | 48 | 1.3 | 52 | 1.2 |
| 80 to 84 years | 174 | 2.2 | 47 | 1.3 | 127 | 2.9 |
| 85 years and over | 150 | 1.9 | 32 | 0.9 | 118 | 2.7 |
| Total Population | 7,957 | 100 | 3,592 | 45.5 | 4,365 | 54.5 |
| SOURCE: U.S. Census Bureau, 2020 American Community Survey 5-Year Estimates | | | | | | |





3.1.2 Population By Race and Ethnicity

Table 3-2 shows the percentage of Selah’s population by race and ethnicity. As illustrated, the largest percentage is white alone, followed by Hispanic or Latino.

| TABLE 3-2 POPULATION BY RACE AND ETHNICITY | |
|---|-----------|
| Race or Ethnicity | Percent % |
| White alone, not Hispanic or Latino | 76.60 |
| Black or African American alone | 1.00 |
| American Indian and Alaska Native alone | 0.20 |
| Asian alone | 1.90 |
| Native Hawaiian and Other Pacific Islander alone | 0.00 |
| Two or More Races | 7.20 |
| Hispanic or Latino | 22.00 |
| SOURCE: U.S. Census Bureau, 2020 American Community Survey 5-Year Estimates | |

3.2 DEMAND AND NEEDS ANALYSIS

The development of the City of Selah’s Parks and Recreation Plan has been a cooperative effort among citizens, staff, and other agencies during the planning process.

The City offered an online survey that was available for citizen input for several months. City staff were present at Selah Community Days to talk to citizens and participants of the event about the survey and the development of the Parks and Recreation Plan. Materials were produced in English and Spanish to reach as many people in our diverse community as possible. In addition to public events, city staff presented the community with information via social media platforms and the City’s website.

3.2.1 Public Participation Strategy

The City published a Parks and Recreation Comprehensive Plan Survey in April 2022 that ran through August of 2022.

3.2.2 Public Meetings

The City had staff present at Selah Community Days to talk to the community about the survey and the Parks and Recreation Plan. In September, the City, along with HLA put together a committee to set the LOS and scoring for projects in the Plan. The City also had multiple study sessions at council meetings to discuss the Plan.

3.2.3 Survey Results

The City of Selah conducted a community survey from April through August. Posters with QR codes were distributed to local businesses and posted at City Facilities. The surveys were available in English and Spanish. 52 responses were received. Some suggestions from the community survey were included in the evaluation for future needs.

The results of the survey are included in CHAPTER 9.





CHAPTER 4

EXISTING DEFICIENCIES AND FUTURE NEEDS



CHAPTER 4 - EXISTING DEFICIENCIES AND FUTURE NEEDS

4.1 STRATEGIC PLANNING TEAM ASSESSMENT

Participants of the September 29, 2022, Parks and Recreation Plan Workshop used the following objectives and priorities to establish Level of Service (LOS) targets, program or improvement screening questions, and scoring criteria to establish an evaluation process for future parks and recreation program and improvement assessment. The workshop participants recommend City staff use the proposed process and consider prioritizing the park and recreation programs and improvements included in this packet in the 2022 Parks and Recreation Plan (2022 P&R Plan).

4.2 IDENTIFY NEEDED ACQUISITION, ENHANCEMENT, AND MANAGEMENT PROJECTS

4.2.1 Targets Considered During the Development of Selah’s 2022 Parks and Recreation Plan

Targets typically follow a set of guidelines and have the following characteristics: specific, measurable, achievable, relevant, and timebound. The workshop participants recommend the following criteria and resulting (LOS):

| TABLE 4-1 POPULATION DISTANCE FROM PARKS AND TRAILS WITHIN SERVICE AREA | | | | | |
|---|-------|----------|----------|--------|-------|
| | LOS A | LOS B | LOS C | LOS D | LOS E |
| Percentage of population within 0.5 miles of a neighborhood park/trail | >75% | 61 – 75% | 46 – 60% | 30-45% | <30% |
| Percentage of population within 3.0 miles of a community park/trail | >51% | 41-50% | 31-40% | 21-30% | <20% |
| Percentage of population within 5.0 miles of a regional park/trail | >46% | 36-45% | 26-35% | 16-25% | <15% |

| TABLE 4-2 DRINKING WATER AVAILABLE YEAR-ROUND AT EACH PARK WITH A RESTROOM | | | | | |
|--|------------|-----------|------------|----------------|--------------------------------|
| | LOS A | LOS B | LOS C | LOS D | LOS E |
| Drinking Water Availability | Year-round | 3 seasons | 2+ seasons | Within 1 block | Potable water is not available |





| TABLE 4-3 TOILETS AVAILABLE YEAR-ROUND AT EACH COMMUNITY PARK | | | | | |
|---|---|--|---|---|---------------------------|
| | LOS A | LOS B | LOS C | LOS D | LOS E |
| Toilets Availability | Toilets are available year-round, fully accessible, in a permanent structure, and in new condition or rehabilitated within last 3 years | Toilets are available during 3 seasons, in a permanent structure, and in fair condition or rehabilitated within last 8 years | Toilets are available during 2+ seasons | Toilets are available during special events only, are temporary, and portable | Toilets are not available |

| TABLE 4-4 WATER INTERACTION OR OTHER ATTRACTIONS AVAILABLE IN AT LEAST TWO PARKS DURING THE SUMMER | | | | | |
|--|---|--|---|---|-------|
| | LOS A | LOS B | LOS C | LOS D | LOS E |
| Water interaction availability | Splash pad or similar interactive water feature available, in new condition or rehabilitated within last 3 years, ADA accessible, and available during the summer | Simplified water feature such as one or more misters available, in fair condition, along an ADA accessible path, available during the summer | Small water features such as a fountain, pond, or water wall offering minimal interaction | No water interaction available in parks during the summer | N/A |

| TABLE 4-5 BASKETBALL COURTS AVAILABLE IN AT LEAST TWO PARKS AND IN USABLE CONDITION OR BETTER | | | | | |
|---|--|---|--|---|---------------------------------|
| | LOS A | LOS B | LOS C | LOS D | LOS E |
| Basketball court availability and condition | Basketball courts available, in new condition or rehabilitated within last 3 years | Basketball courts available, in fair condition or rehabilitated within last 8 years | Basketball courts available, in minimal usable condition, but requiring rehabilitation in the next 2 years | Basketball courts in poor condition requiring replacement | Basketball courts not available |



TABLE 4-6 SOCCER FIELDS OR OPEN SPACE AVAILABLE IN AT LEAST ONE PARK

| | LOS A | LOS B | LOS C | LOS D | LOS E |
|--|--|--|---|---|---|
| Soccer fields availability and condition | Permanent soccer fields available, in new condition or rehabilitated within last 2 years | Soccer fields available, in fair condition or open space available for establishing semi-permanent soccer fields | Open space available for setting up temporary soccer fields | Open space available for informal soccer play | Soccer fields or open space for temporary soccer fields not available |

TABLE 4-7 TENNIS COURTS AVAILABLE IN AT LEAST ONE PARK AND IN USABLE CONDITION OR BETTER

| | LOS A | LOS B | LOS C | LOS D | LOS E |
|---|--|---|--|---|-----------------------------|
| Tennis court availability and condition | Tennis courts available, in new condition or rehabilitated within last 3 years | Tennis courts available, in fair condition or rehabilitated within last 8 years | Tennis courts available, in minimal usable condition, but requiring rehabilitation in the next 2 years | Tennis courts in poor condition requiring replacement | Tennis courts not available |

TABLE 4-8 ONE MILE OF TRAILS AND TRAIL CONNECTIONS IN THE CITY PER 1,000 POPULATION

| | LOS A | LOS B | LOS C | LOS D | LOS E |
|---|--|---|--|--|---|
| Trails, routes, and pathway availability and connectivity | Well-marked, ADA compliant, walking facilities available, connecting community activity centers, in new condition or rehabilitated within the last 3 years | Well-connected pedestrian facilities, with good neighborhood connectivity, and in fair condition or rehabilitated within the last 8 years | Sidewalks available, in minimal usable condition, but requiring rehabilitation in the next 2 years | Unimproved walking or bicycling area available | Walking and bicycle facilities not available and not recommended for safety reasons |



| TABLE 4-9 RECREATION PROGRAMS OFFERED FOR ALL AGE BRACKETS | | | | | |
|--|---|---|--|--|---|
| | LOS A | LOS B | LOS C | LOS D | LOS E |
| Recreation program availability | Recreation programs are offered for youth, young adults, and senior persons of all abilities and for every season both indoors and outdoors | Indoor or outdoor recreation programs are offered for multiple age groups for 3 seasons | Recreation programs are available during 1-2 seasons, are based on interest thresholds, and require registration | Recreation programs are managed privately, are limited to registered participants, and require personal approval | Individuals may use recreational spaces when not reserved |

Table 4-10 combines the population forecast, parks, their amenities, and targets listed above to provide the current and forecast quantitative targets and the targets' status'.

| TABLE 4-10 SELAH'S PARKS AND RECREATION TARGETS | | |
|---|---|--|
| Facility Need | Current Target (status) using 2020 Census population of 8,360 | 2040 Target (status) by population forecast of 9,899 |
| Active parks | 9 (9) | 10 (9) |
| Open space | 45 acres (45 acres) | 55 acres (45 acres) |
| Park and trail head potable water | 5 (0) | 5 (0) |
| Community Park toilets | 5 (5) | 5 (5) |
| Water interaction | 2 (1) | 2 (1) |
| Basketball courts | 2 (2) | 4 (2) |
| Soccer fields | 1 (0) | 2 (0) |
| Tennis courts | 1 (1) | 1 (1) |
| Tracks, trails, and connections | 8 miles (8 miles) | 12 miles (8 miles) |

Adopting evaluation criteria such as those listed below can assist this and future committees in screening programs and improvements before evaluation.

Screen proposed programs and capital improvements with the following questions and considerations:

- Is the proposed program or improvement completely contained inside the City Limits or the City's UGA?
 - If yes, continue through screening.
 - If no, is the proposed program or improvement connected to regional trails which are actively being planned and properly coordinated with all partners?
 - If yes, specify the portion of the regional trail the City will include in this Plan, and continue through screening.
 - If no, then do not proceed without proper City Council concurrence.





- Is the program or improvement consistent with the City's Park and Recreation Plan executive statement, objectives, and priorities?
 - If yes, list specific objectives and priorities.
 - If no, is there a compelling reason for amending the program or improvement into the Parks and Recreation Plan ahead of the next customary P&R Plan update?
 - If no, has the program or improvement been evaluated by City staff and City Council, and deemed of higher priority than programs and improvements on the existing prioritized list?
 - If yes, state the reason for making the new program or improvement a higher priority (i.e., immediate, and unanticipated funding program with unusual requirements, infrastructure emergency allows for accelerated consideration, public-private partnership making funding available for program or improvement, etc.)
- Does the City budget allow for inclusion of the program or improvement in addition to programs and improvements already identified on the prioritized list, or does the City reasonably anticipate grant or other funding to complement the funding allowable in the City budget?
 - If yes, list the sources of funding anticipated to allow for inclusion of this program or improvement and the year the complete funding will be available.
 - If no, will the priority of this program or improvement supersede any of the existing programs or improvements on the priority list?
 - If no, then hold the program or improvement for consideration during the next P&R Plan update.
- Does the City have direct managerial or budgetary control over the program, improvement, or Recreational facility within the next six years?
 - If yes, allow for inclusion of this program or improvement and the year the complete funding will be available.
 - If no, will the City have direct managerial or budgetary control over the recreational facility in the mid-term or long-term planning timeframe before improvements are proposed?
 - If yes, then include the program or improvement for consideration during the appropriate timeframe in the Capital Improvement Program.
- Is ongoing maintenance of the proposed program or improvement identified in the City's budget and sustainable?
 - If yes, show the anticipated maintenance schedule and estimated cost of ongoing maintenance, and if known, the anticipated year of replacement consideration (asset management).
 - If no, has the public shown positive support of a user's fee to satisfy ongoing maintenance?
 - If yes, show supportive action.
 - If no, the program or improvement can be shown as an unfunded, planned program or improvement without a year of anticipated construction or purchase.

4.3 IDENTIFY PROJECT TIMELINES AND ANTICIPATED COSTS

The workshop participants chose to take the scoring sheet handouts home to fill out separately and return to the Parks and Recreation department by October 6, 2022. The scoring sheet results are included in CHAPTER 9. Information on the projects and priorities are included in CHAPTER 6 in Table 6-1 and Table 6-2.



CHAPTER 5

GOALS, OBJECTIVES, AND POLICIES



CHAPTER 5 – GOALS, OBJECTIVES, AND POLICIES

5.1 OBJECTIVES AND POLICIES

5.1.1 Executive Statement

Encouraging positive parks and recreation experiences for the City of Selah’s families and visitors requires understanding needs expressed through public processes, evaluating potential programs and capital investments with locally developed objectives and thresholds, and implementing those opportunities which increase equitable wellness options, enhance access, and promote human connectivity.

Ensuring outdoor play is more accessible and attractive, increases connections to nature and each other regardless of age or ability, promotes healthy development, increases neighborhood presence, and therefore increases safety in public spaces.

Participants of the September 29, 2022, Parks and Recreation Plan Workshop used the following objectives and priorities to establish Level of Service (LOS) targets, program or improvement screening questions, and scoring criteria to establish an evaluation process for future parks and recreation program and improvement assessment. The workshop participants recommend City staff use the proposed process and consider prioritizing the park and recreation programs and improvements included in this packet in the 2022 Parks and Recreation Plan (2022 P&R Plan).

5.1.2 Objectives

- Objective 1: Through grant writing and strategic budgeting we will protect the community’s investment in parks and recreation by providing adequate and continual funding for operation and maintenance of community parks, recreation programs, and cultural activities.
- Objective 2: Strategically expand parks and recreation sites, facilities, and programs by seeking financial support from a variety of sources and encouraging private sector contributions to public recreation opportunities.
- Objective 3: With diversity, equity, and inclusion we will recognize, respect, and incorporate Selah’s historic, cultural, and natural resources through parks and recreation programs.
- Objective 4: Working in partnership with the Selah School District, Selah Parks Foundation, Selah Parks and Recreation Service Area (SPRSA), Selah Chamber of Commerce, Selah Downtown Association, civic groups, and businesses, we will work to ensure availability and variety in parks and recreation programming.
- Objective 5: Through community outreach, surveys, public meetings, and input during the public comment portion of the City Council meetings we will seek involvement from the community when determining needs and priorities for parks and recreation.
- Objective 6: Recognize the value of volunteerism for maintaining parks, organizing events, and delivering recreation programs. Maximize individuals’ and organizations’ contributions of commitment and involvement to enhance sustainability of parks and recreation.



5.1.3 Policies

- Priority 1: Complete Civic Center updates to ensure its ability to sustain user groups over the next five years.
- Priority 2: Develop an outdoor youth athletic facility to address the immediate needs of more than 1,200 youth participating in Selah youth sports annually and to increase sports opportunities for young and middle adults.
- Priority 3: Increase recreational programming to offer various opportunities with the goal of continued interaction with youth currently in our programs and those we have not yet reached.
- Priority 4: Enhance existing outdoor areas by accessing state and federal grants and encouraging local support for improved parks, playgrounds, and trail systems.
- Priority 5: Increase numbers and types of local lodging opportunities and attractive amenities in support of accommodating current and expanding offerings of outdoor events.

5.2 EVALUATION CRITERIA

- 1. Vetted – has this program or improvement been previous prioritized through City planning processes?

| Points | Category |
|--------|--|
| 20 | Previously prioritized in more than two planning documents undergoing public process |
| 5 | Previously prioritized in County or Regional planning documents |

- 2. Preservation – does this program or improvement preserve a City investment?

| Points | a. Program Category |
|--------|---|
| 30 | Extends the life of the program for 1-5 years |
| 20 | Extends the life of the program for 6-10 years |
| 10 | Extends the life of the program for greater than 10 years |

| Points | b. Improvement Category |
|--------|---|
| 20 | Extends the life of the improvement for 1-5 years |
| 30 | Extends the life of the improvement for 6-10 years |
| 10 | Extends the life of the improvement for greater than 10 years |

- 3. Completion – does the program or improvement fill in identified gaps?

| Points | Category |
|--------|---|
| 10 | Completes the identified gap and makes the program or improvement whole |
| 30 | Partially fills or satisfies a distinguishable portion of the program or improvement and allows continued use at a level of at least 50% of the ideal |
| 20 | Partially fills or satisfies a distinguishable portion of the program or improvement at a minimal level |





4. Replacement – does this program or improvement maintain a similar level of service?

| Points | Category |
|--------|---|
| 20 | Increased level of service than the original program or improvement |
| 30 | Maintains a similar level of service to the original program or improvement |
| 10 | Maintains an acceptable level of service though less than previously supplied |

5. Safety – does this program or improvement enhance the safety of City services?

| Points | Category |
|--------|---|
| 30 | Provides a similar level of public safety |
| 10 | Increases public safety |
| 20 | Encourages safety improvements in a systemic manner |

6. Inclusion – does this program or improvement provide greater access to people of all ages and abilities?

| Points | Category |
|--------|--|
| 10 | Provides a similar level of access to most of the population currently participating |
| 30 | Increases access to more levels of age and/or mobility |
| 20 | Encourages access improvements to accommodate age and mobility in a systemic manner |

7. Frequency – is this program or improvement in a high foot traffic park?

| Points | Category |
|--------|---|
| 10 | Public outreach results show this park or program is in the top half of all parks or programs in terms of use frequency |
| 30 | Public outreach results show this park or program is in the top ¼ of all parks or programs in terms of use frequency |

8. Feasibility – is this program or improvement able to be budgeted for in the customary City budget without financial assistance?

| Points | a. Program Category |
|--------|--|
| 20 | The City budget can accommodate the program in the current budget without financial assistance |
| 30 | The City budget is not able to accommodate the program without charging fees, or creating a City tax |
| 10 | The City budget is not able to accommodate the program without seeking external funding |

| Points | b. Improvement Category |
|--------|--|
| 30 | The City budget can accommodate the improvement in the current budget without financial assistance |
| 10 | The City budget is not able to accommodate the improvement without charging fees, or creating a City tax |
| 20 | The City budget is not able to accommodate the improvement without seeking external funding |





9. Sustainability – once implemented, is this program or improvement able to be maintained through the customary City budget without external financial assistance?

| Points | Category |
|--------|--|
| 30 | The City budget can accommodate the maintenance to preserve investment in the program or improvement without external financial assistance |
| 20 | The City budget is not able to accommodate the maintenance to preserve investment of the program or improvement without charging fees or creating a City tax |
| 10 | The City budget is not able to accommodate the maintenance to preserve investment of the program or improvement without seeking external funding |

5.3 MONITORING AND REASSESSMENT

As projects are completed, City Staff will reevaluate remaining projects and consider them for completion during the next regular cycle. The Plan requires an update every six years.



CHAPTER 6

CAPITAL IMPROVEMENT PROGRAM





CHAPTER 6 – CAPITAL IMPROVEMENT PROGRAM

6.1 SHORT-TERM PROJECTS (1-6 YEARS)

Programs and improvements evaluated during the sub-committee workshop were identified from various City planning documents, added because of public outreach during the City’s Parks and Recreation survey, or proposed during the workshop. All projects were categorized as short-term, mid-term, or long-term, and were scored and ranked. Workshop participants reviewed the scoring and ranking, then presented the revised workshop packet to City staff as a recommended process for evaluation and prioritization. City staff reviewed the recommended workshop packet with resulting prioritized projects and presented the process and results to City Council for approval.

City staff and City Council may adjust the ranking for several reasons, including but not limited to:

- Future departmental or general budgets.
- Public support.
- Legacy status or,
- Unanticipated opportunity for program or improvement advancement.

The workshop participants recommended five prioritized programs and improvements in each time-related category and City staff chose five overall priorities for which estimates and exhibits would be developed.

The recommended workshop packet, and the estimates and exhibits developed for the top five projects are included in CHAPTER 9.

In Table 6-1, there are two rows of qualitative evaluation defined. One row defines the color coding used in the Priority column and the other row identifies comparative magnitude of cost. As identified in the table, Short term projects (shaded green) are expected to be completed within one to five years or no later than 2028. Mid-term projects (shaded yellow) are expected to be completed within 6 to 15 years or no later than 2038. Long-term projects (shaded orange) are expected to be completed over 16 years and no earlier than 2039.

| TABLE 6-1 SELAH’S PARKS AND RECREATION EVALUATION DEFINITIONS | | | |
|---|---|--|--|
| Time frame for Development | Short-term (S-#) (1-5 years) No later than 2028 | Mid-term (M-#) (6-15 years) No later than 2038 | Long-term (L-#) (>16 years) No earlier than 2039 |
| Comparative Magnitude of Cost | Low cost = \$ (<\$174,000) | Mid cost - \$\$ (\$175,000 – \$750,000) | High cost =\$\$\$ (>\$750,000) |

In addition to a brief title, an anticipated cost range, and the period the City plans to implement the improvement, there is a column in Table 6-2 displaying potential funding sources. The funding sources displayed are illustrative only. Some ranked projects on the scoring sheets in CHAPTER 9 will be eligible for funding sources listed below, and some funding sources may not be listed. Sources, purposes, and availability of all listed examples are subject to change between Parks and Recreation Plan updates. Acronyms are defined below the table.

Selah will develop refined programs and improvement details at the time each is considered ready for seeking funding to ensure a comprehensive and current estimate is performed.





TABLE 6-2 SELAH'S PARKS AND RECREATION PRIORITIES

| Priority and Time Frame | Project Examples | | Comparative Magnitude of Cost \$ = Low \$\$ = Mid \$\$\$ = High | Funding Source Examples |
|-------------------------|--|---|--|---|
| S-1 | McGonagle Park | Crack seal existing parking lot | \$ | RCO, City, Private |
| S-2 | Carlton Park | Crack seal interior area | \$ | RCO, ARPA, City, Private |
| S-3 | Volunteer Park (aka Dolores Huerta Park) | Install shade sails | \$ | RCO, ARPA, City, Private |
| S-4 | Wixson Park | Construct concrete sidewalks between gazebo and restrooms | \$ | RCO, ARPA, PBP, CS, STBG Set-aside, City, Private |
| S-5 | Palm Park | Update basketball court | \$\$ | RCO, ARPA, City, Private |
| M-1 | McGonagle Park | Pave walking path | \$\$ | RCO, ARPA, PBP, CS, STBG Set-aside, City, Private |
| M-2 | McGonagle Park | Pave lower lot | \$ | RCO, ARPA, City, Private |
| M-3 | McGonagle Park | Create playground, install big toy set | \$\$ | RCO, ARPA, City Private |
| M-4 | Carlton Park | Complete replacement of tennis courts | \$ | RCO, ARPA, City, Private |
| M-5 | Carlton Park | Create pavers/bricks area in the hardball grandstand | \$\$ | RCO, City, Private |
| L-1 | Carlton Park | Grade ballfields and complete irrigation replacement | \$\$ | RCO, ARPA, City, Private |
| L-2 | New Parks | Construct a soccer complex (Speyers Road) | \$\$\$ | USDA-RD, CDBG, RCO, ARPA, City, Private |
| L-3 | Veteran's Park | Install a memorial wall | \$\$ | RCO, City, Private |

RCO – Washington State Recreation and Conservation Office
 CDBG – United States Department of Housing and urban Development – Community Development Block Grant
 USDA-RD – United States Department of Agriculture – Rural Development
 WSDOT – Washington State Department of Transportation
 PBP – Pedestrian and Bicyclist Program (WSDOT)
 SRTS – Safe Routes to School (WSDOT)
 WTSC – Washington Traffic Safety Commission
 STBG (Set aside) – United States Department of Transportation – Surface Transportation Block Grant – Set-Aside (AKA Transportation Alternatives Program – TAP)
 TIB – Transportation Improvement Board
 CS – Complete Streets (TIB)
 ARPA – Yakima County American Rescue Plan Act
 City – Budgeted funds from General, Parks and Recreation, or Public Works annual budgets
 Private – Potential funds collected as donations from private sources





Table 6-3 shows the complete list of projects scored and ranked by workshop participants, reviewed by City staff, and approved by City Council. The first five projects listed are repeated from Table 6-2.

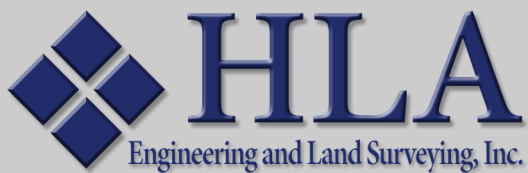
Selah will develop refined programs and improvement details at the time each is considered ready for seeking funding to ensure a comprehensive and current estimate is performed.

| TABLE 6-3 SHORT-TERM PARKS AND RECREATION PROJECTS | |
|---|---|
| Carlson Park | Crack seal interior area |
| McGonagle Park | Crack seal existing parking lot |
| Playland Park | None |
| Wixson Park | Construct concrete sidewalks between gazebo and restrooms |
| Volunteer Park (aka Dolores Huerta Park) | Install shade sails |
| Legion Park | Quarry spall island |
| Palm Park | Update basketball court |
| Veteran's Park | None |
| Sunrise Park | None |
| Civic Center | ADA improvements |
| | Dry landscape islands |
| Youth Center | None |
| Parks and Recreational Offices | None |
| Trails | Trolley Park - Dry landscaping improvements |
| | Home Avenue sidewalk improvements |
| | Naches Avenue sidewalk improvements 3rd St to 1st St |
| New Programs | Adult Frisbee Golf League |
| New Parks | Planning addition of RV Park |
| | Planning addition of a soccer complex |



CHAPTER 7

RECOMMENDED FUTURE PLANNED PROJECTS





CHAPTER 7 – RECOMMENDED FUTURE PLANNED PROJECTS

7.1 MID-TERM PROJECTS (7-15 YEARS)

Table 7-1 shows a complete list of projects scored and ranked by workshop participants, reviewed by City staff, and approved by City Council. The first five projects listed are repeated from Table 6-2.

Selah will develop refined programs and improvement details at the time each is considered ready for seeking funding to ensure a comprehensive and current estimate is performed.

| TABLE 7-1 MID-TERM PARKS AND RECREATION PROJECTS | |
|--|--|
| Carlton Park | Hardball field lighting (MUSCO) |
| | Pave/bricks area grandstand (Hardball) |
| | Complete replacement of tennis courts |
| | ADA improvements |
| McGonagle Park | Pave lower lot |
| | Playground (big toy set) |
| | Pave walking path |
| Playland Park | None |
| Wixson Park | Home Avenue sidewalk improvements |
| Volunteer Park (aka Dolores Huerta Park) | Gazebo |
| Legion Park | None |
| Palm Park | Playground (big toy set) |
| Veteran's Park | None |
| Sunrise Park | None |
| Civic Center | Vehicle charging station |
| | Conference room |
| | Gazebo in east/southeast parking lot |
| Youth Center | None |
| Parks and Recreational Offices | Expand offices |
| Trails | McGonagle Road sidewalk improvements |
| New Programs | Add adult recreation programs |
| New Parks | RV Parking |



7.2 LONG-RANGE PROJECTS (16-25 YEARS)

Table 6-2 includes the complete list of projects scored and ranked by the workshop participants, reviewed by City staff, and approved by City Council.

| TABLE 7-2 LONG-TERM PARKS AND RECREATION PROJECTS | |
|---|--|
| Carlson Park | Grade ballfields and complete irrigation replacement |
| McGonagle Park | None |
| Playland Park | None |
| Wixson Park | None |
| Volunteer Park (aka Dolores Huerta Park) | None |
| Legion Park | None |
| Palm Park | None |
| Veteran's Park | Install a memorial wall. |
| Sunrise Park | None |
| Civic Center | None |
| Youth Center | None |
| Parks and Recreational Offices | None |
| Trails | None |
| New Programs | None |
| New Parks | Construct a soccer complex (Speyers Road) |

7.3 IDENTIFY PROJECTS TO BE INCLUDED INTO RELATED PLANS

At the same time the Selah Parks and Recreation Plan is being developed, the City has been drafting an ADA Transition Plan. Since some of the projects share common attributes for both Plans, any ADA related projects in the Parks and Recreation Plan should be included in the ADA Transition Plan.

Some parks and recreation projects include a transportation element. The 2023-2029 Selah Transportation Improvement Program (TIP) was submitted to Yakima Valley Conference of Governments (YVCOG) in June 2022 and is in the process of being included in YVCOG's 2023-2026 Metropolitan and Regional Transportation Improvement Program (M/RTIP) and Washington State Department of Transportation's (WSDOT) 2023-2026 State Transportation Improvement Program (STIP). The first opportunity to amend the 2023-2026 M/RTIP or 2023-2026 STIP is during the January 2023 amendment cycle. Details for transportation projects can be prepared in the Selah online TIP program and processed via the December Selah City Council meeting to ensure earliest possible inclusion into the TIP.

The City is considering developing a City Safety Plan in 2023. Projects resulting from crash data analysis and countermeasure identification may have similarities to those included in the Parks and Recreation Plan. Likewise, some of the projects identified in the Parks and Recreation Plan may be suitable to be included in the City Safety Plan. Since the Parks and Recreation Plan can be periodically reviewed and updated, it is recommended to amend the Parks and Recreation Plan with appropriate parks and recreation projects developed through safety analysis as an addendum to this Plan.





PARKS AND RECREATION PLAN

The next Selah Comprehensive Plan will be developed from 2024 through 2026 and these lists of projects can be updated and included in the Capital Facilities Plan.

The City may consider preparing addendums for both the City's Water System Plan (WSP) and the General Sewer Plan (GSP) to include drinking water accessibility, restroom, and water feature projects as identified in the Parks and Recreation Plan update. If projects are mid-term or long-term, the City may wish to wait and include the projects in the next WSP and GSP updates.



CHAPTER 8

FINANCING



CHAPTER 8 – FINANCING

8.1 PARKS AND RECREATION FACILITIES AND PROGRAM FUNDING

In CHAPTER 6 possible funding sources for short-term, mid-term, and long-term improvements were included in Table 6-2. Thirteen acronyms were used to indicate federal, state, Yakima County, and local funding, and were defined in footnotes below the table. Website locations to explore the funding sources mentioned in the table are included in Table 8-1 below.

For some of the grant or funding opportunities, park projects or recreation programs may be included as the primary project or alternatively, park and recreation elements may be incorporated into a larger project. For example, although the WSDOT Safe Routes to School (SRTS) Grants focus on providing funding for routes used by school-aged children and have coverage restrictions on how far an eligible sidewalk can be located from a school, portions of sidewalk or street crossing projects may qualify for SRTS grants.

Some funding sources listed below require the City of Selah to contribute matching funds to leverage the grants. Some opportunities occur annually, and others occur every other year. City staff should review the opportunities for an upcoming year at budget time (typically in the fall). Though comprehensive, the table does not list every opportunity. The links listed in the table are current as of November 22, 2022.

| TABLE 8-1 POTENTIAL GRANT OR FUNDING SOURCES FOR PARKS AND RECREATION CAPITAL IMPROVEMENTS | |
|--|---|
| Funding Grant or Source | Link |
| Washington Wildlife and Recreation Program | https://rco.wa.gov/grant/washington-wildlife-and-recreation-program-recreation/ |
| Non-Highway and Off-road Vehicle Programs | https://rco.wa.gov/grant/nonhighway-and-off-road-vehicle-activities-program-trails/ |
| Youth Athletic Facilities | https://rco.wa.gov/grant/youth-athletic-facilities/ |
| National Recreational Trails Program | https://rco.wa.gov/grant/recreational-trails-program/ |
| Surface Transportation Block Grants | https://www.yvcog.org/ |
| State of Washington Transportation Improvement Board | http://www.tib.wa.gov/ |
| United States Department of Agriculture – Rural Development | https://www.rd.usda.gov/wa |
| Department of Commerce – Youth Recreation Facilities | http://www.commerce.wa.gov/building-infrastructure/capital-facilities/youth-recreational-facilities/ |
| Community Development Block Grant | http://www.commerce.wa.gov/serving-communities/current-opportunities/community-development-block-grants/ |





CHAPTER 9

APPENDIX



CHAPTER 9 - APPENDIX

9.1 APPENDIX DOCUMENTS INDEX

- A. Self-Certification Checklist
- B. Selah Parks and Recreation Comp Plan Survey Results
- C. Scoring Sheet Results
- D. Parks and Recreation Packet for Establishing the Thresholds, Criteria, and LOS for Selah Parks and Recreation Plan (Workshop Packet).
- E. Estimates and Exhibits
- F. Building Evaluation and Planning Report – Selah Civic Center



A.

Self Certification Checklist

Self-Certification Form

Self Certification Form

Fill out the information on the first three lines. On the fourth line indicate if you are seeking eligibility for recreation grants, conservation grants, or both recreation and conservation grants.

Initial each plan element that will be provided to RCO with this form. In the right column, enter information that will enable RCO staff to quickly locate each item initialed.

Certify the accuracy of the information on the form by completing the signature line and submit all material to RCO according to the submission requirements for final plans.

Planning Eligibility Self-Certification Form

Use this form to certify that the need for any grant projects have been developed through an appropriate planning process. Provide the completed form with the subject plans and adoption documentation to RCO via e-mail or other means of electronic access (i.e. Web link, Box.com, etc.).

Organization Name: *City of Selah*

Contact Name: *Rocky Wallace*

Adoption Date of Submitted Documents: *February 28, 2023*

Seeking Eligibility for: Recreation Grants Conservation Grants Both

| Initial Each to Certify Completion | Plan Element Certification | Document and Page Number Location of Information |
|------------------------------------|---|--|
| <i>RW</i> | 1. Goals, objectives: The attached plan supports our project with broad statements of intent (goals) <i>and</i> measures that describe when these intents will be attained (objectives). Goals may include a higher level of service. | <i>5-1</i> |
| <i>RW</i> | 2. Inventory: The plan includes a description of the service area's facilities, lands, programs, and their condition. <i>(This may be done in a quantitative format or in a qualitative/narrative format.)</i> | <i>2-1</i> |
| <i>RW</i> | 3. Public involvement: The planning process gave the public ample opportunity to be involved in plan development and adoption. | <i>3-2</i> |
| <i>RW</i> | 4a. Demand and need analysis: In the plans: <ul style="list-style-type: none"> An analysis defines priorities, as appropriate, for acquisition, development, preservation, enhancement, management, etc., and explains why these actions are needed. The process used in developing the analysis assessed community desires for parks, recreation, open space, and/or habitat, as appropriate, in a manner appropriate for the service area (personal observation, informal talks, formal survey(s), workshops, etc.). | <i>3-2</i> |
| <i>RW</i> | 4b. Level of Service assessment (optional): An assessment of the criterion appropriate to your community. Possibly establish a higher level of service as a plan goal (above). | <i>4-1</i> |
| <i>RW</i> | 5. Capital Improvement Program: The plan includes a capital improvement/facility program that lists land acquisition, development, and renovation projects by year of anticipated implementation; include funding source. The program includes any capital project submitted to the Recreation and Conservation Funding Board for funding. | <i>6-1</i> |
| <i>RW</i> | 6. Adoption: The plan and process has received formal governing body approval <i>(that is, city/county department head, district ranger, regional manager/supervisor, etc., as appropriate)</i> . Attach signed resolution, letter, or other adoption instrument. | |

Certification Signature

I certify that this information is true and complete to the best of my knowledge.

Print/Type Name: Rocky Wallace

Signature (Hand Written or Digital): Rocky Wallace

Title: Public Works Director

Date: 3/1/2023

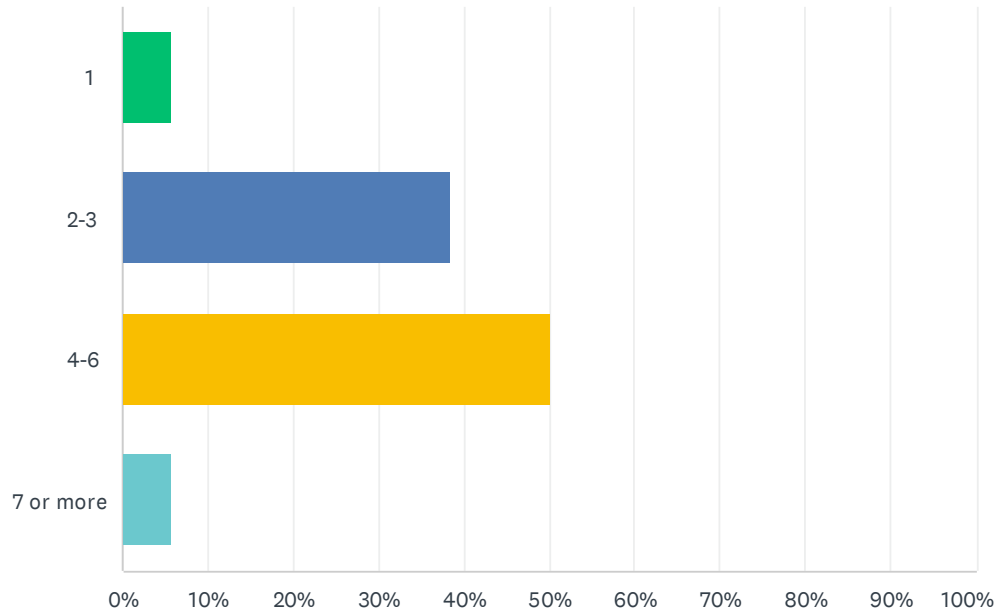


B.

Selah Parks and Recreation Comp Plan Survey Results

Q1 Including yourself, how many people reside at your residence?

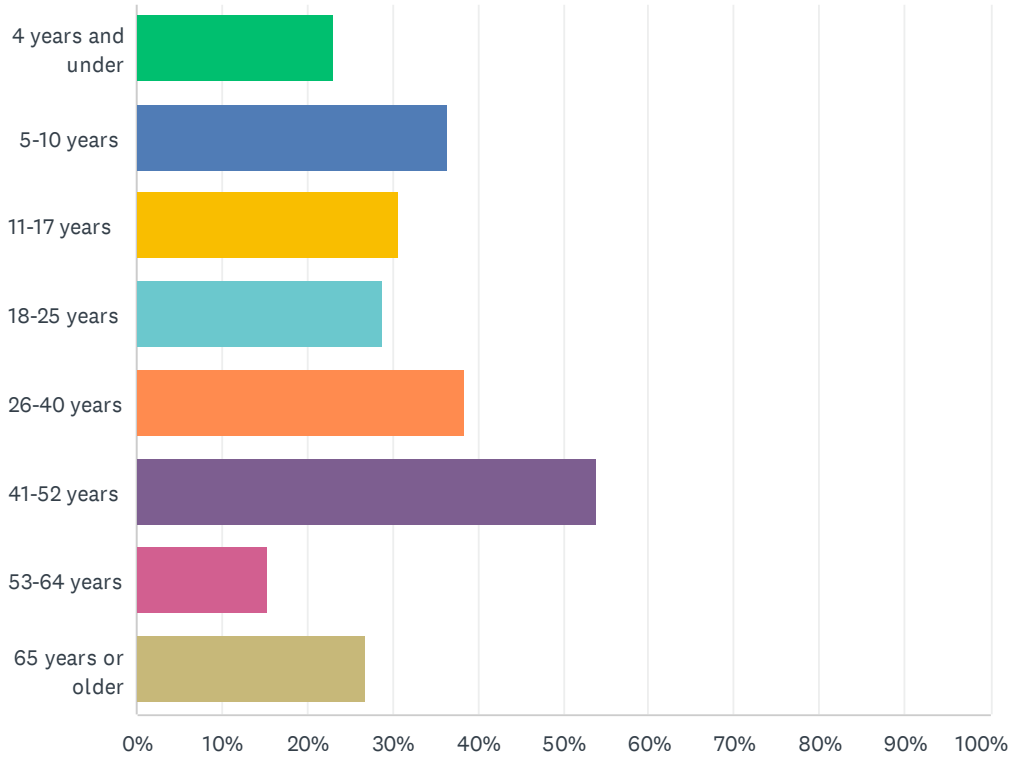
Answered: 52 Skipped: 0



| ANSWER CHOICES | RESPONSES | |
|----------------|-----------|----|
| 1 | 5.77% | 3 |
| 2-3 | 38.46% | 20 |
| 4-6 | 50.00% | 26 |
| 7 or more | 5.77% | 3 |
| TOTAL | | 52 |

Q2 The people in my residence are in the following age groups (check all boxes that apply).

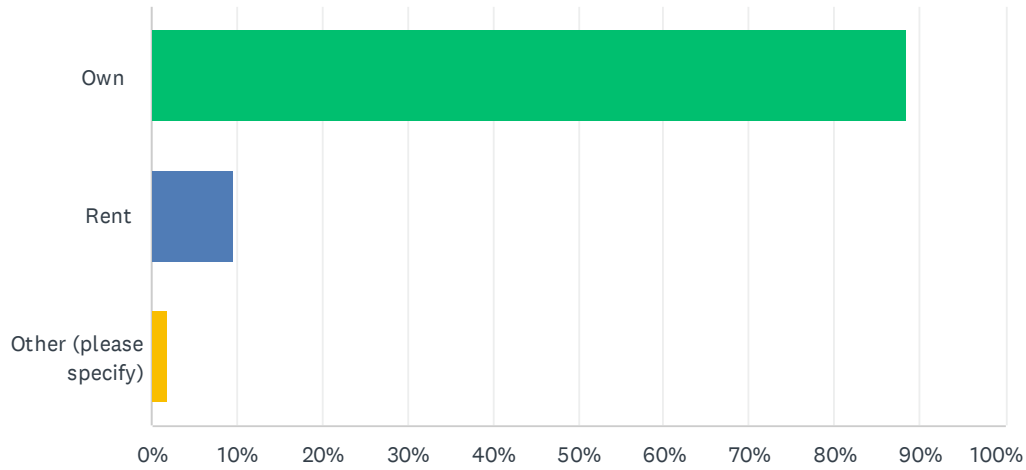
Answered: 52 Skipped: 0



| ANSWER CHOICES | RESPONSES | |
|-----------------------|-----------|----|
| 4 years and under | 23.08% | 12 |
| 5-10 years | 36.54% | 19 |
| 11-17 years | 30.77% | 16 |
| 18-25 years | 28.85% | 15 |
| 26-40 years | 38.46% | 20 |
| 41-52 years | 53.85% | 28 |
| 53-64 years | 15.38% | 8 |
| 65 years or older | 26.92% | 14 |
| Total Respondents: 52 | | |

Q3 Do you rent or own the place where you live?

Answered: 52 Skipped: 0

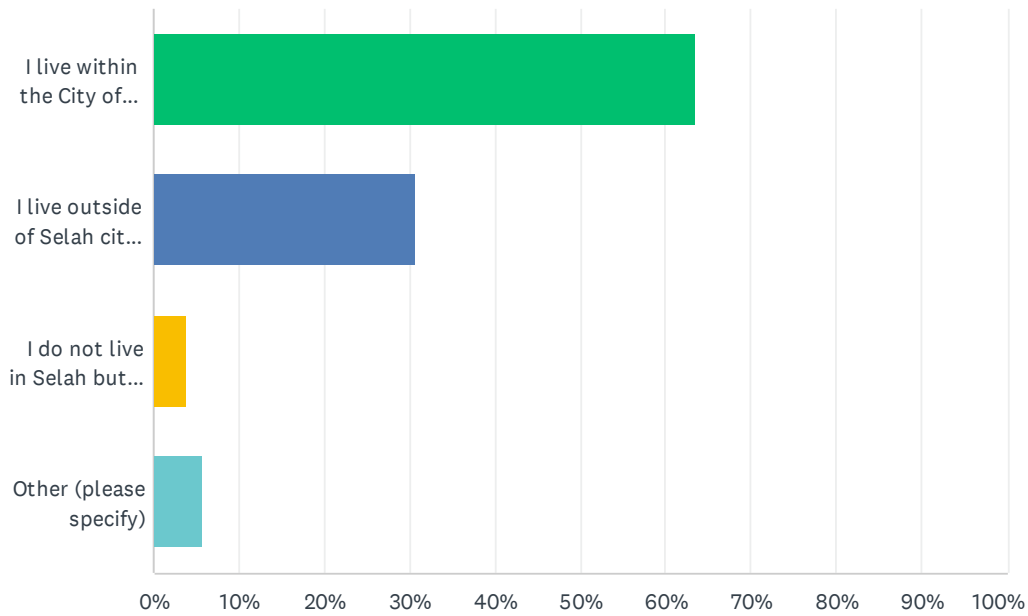


| ANSWER CHOICES | RESPONSES |
|------------------------|-----------|
| Own | 88.46% 46 |
| Rent | 9.62% 5 |
| Other (please specify) | 1.92% 1 |
| TOTAL | 52 |

| # | OTHER (PLEASE SPECIFY) | DATE |
|---|------------------------|--------------------|
| 1 | I live with my parents | 3/28/2022 10:07 AM |

Q4 Which of the following best describes where you live? (Check one box)

Answered: 52 Skipped: 0

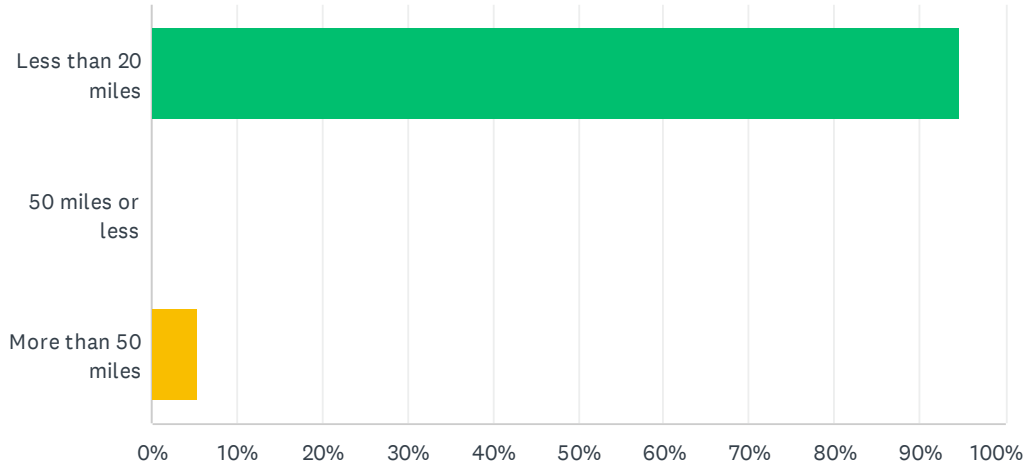


| ANSWER CHOICES | RESPONSES |
|--|-----------|
| I live within the City of Selah city limits (skip to question 6) | 63.46% 33 |
| I live outside of Selah city limits, but within Selah School District | 30.77% 16 |
| I do not live in Selah but enjoy Selah parks and recreation activities | 3.85% 2 |
| Other (please specify) | 5.77% 3 |
| Total Respondents: 52 | |

| # | OTHER (PLEASE SPECIFY) | DATE |
|---|--|--------------------|
| 1 | Watch my Grandkids sports | 6/3/2022 9:46 AM |
| 2 | California | 5/6/2022 9:42 AM |
| 3 | I live in a car and change my location frequently. | 3/28/2022 10:07 AM |

Q5 How far do you travel one way to enjoy Selah parks and recreation activities?

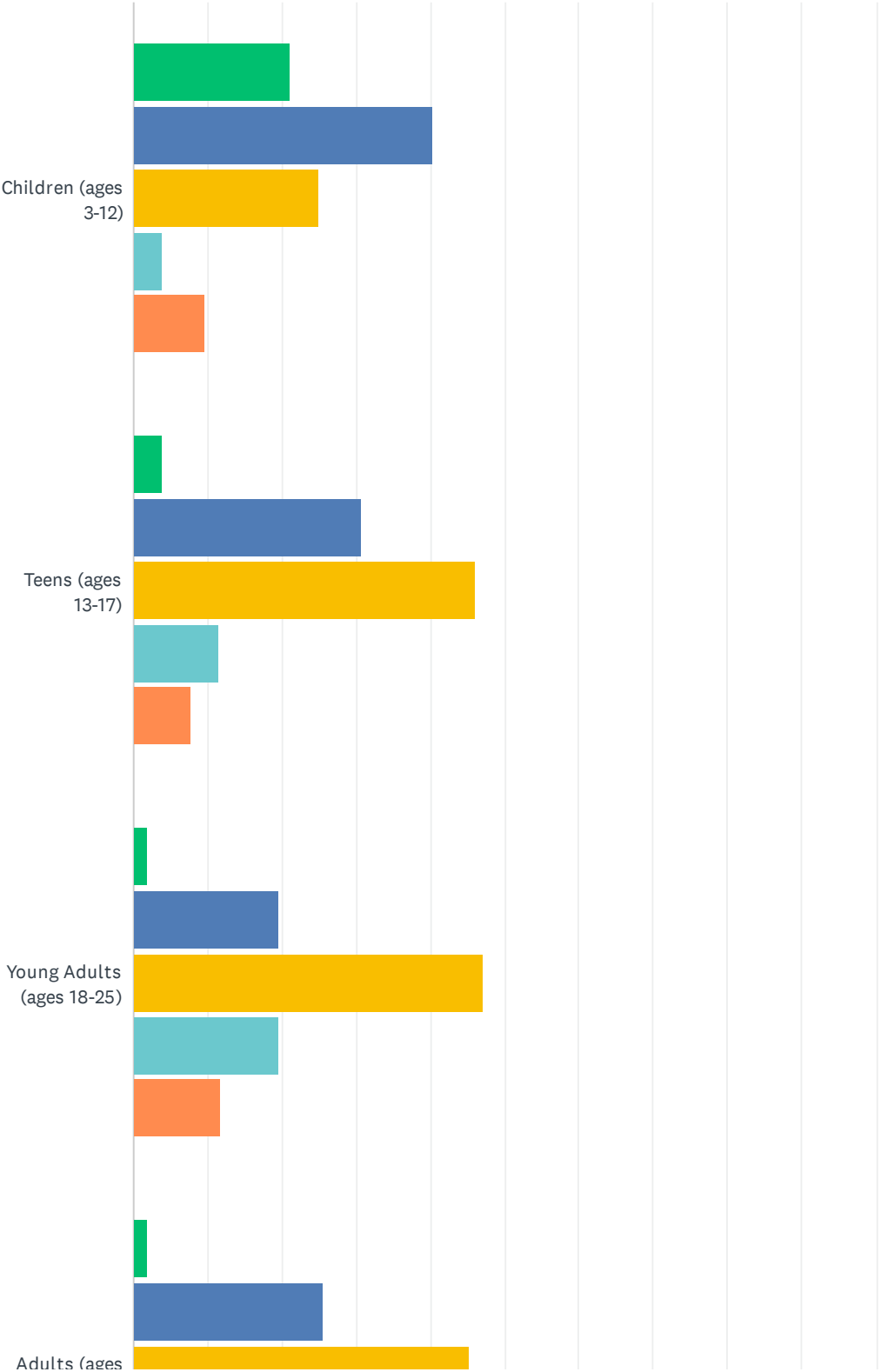
Answered: 38 Skipped: 14



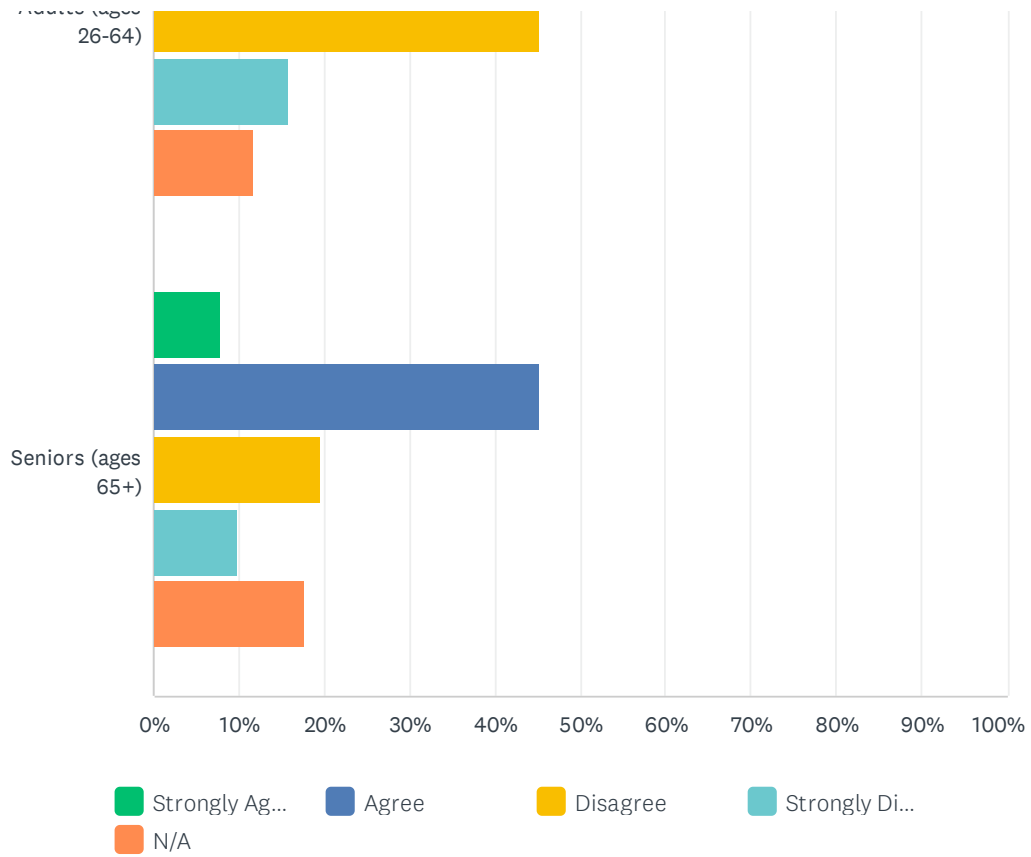
| ANSWER CHOICES | RESPONSES |
|--------------------|-----------|
| Less than 20 miles | 94.74% 36 |
| 50 miles or less | 0.00% 0 |
| More than 50 miles | 5.26% 2 |
| TOTAL | 38 |

Q6 Indicate your level of agreement with the following statement: The City of Selah currently provides enough recreational opportunities for the following age groups.

Answered: 52 Skipped: 0



Selah Parks and Recreation Comp Plan Survey



| | STRONGLY AGREE | AGREE | DISAGREE | STRONGLY DISAGREE | N/A | TOTAL |
|---------------------------|----------------|--------------|--------------|-------------------|-------------|-------|
| Children (ages 3-12) | 21.15% 11 | 40.38% 21 | 25.00% 13 | 3.85% 2 | 9.62% 5 | 52 |
| Teens (ages 13-17) | 3.85% 2 | 30.77% 16 | 46.15% 24 | 11.54% 6 | 7.69% 4 | 52 |
| Young Adults (ages 18-25) | 1.96% 1 | 19.61% 10 | 47.06% 24 | 19.61% 10 | 11.76% 6 | 51 |
| Adults (ages 26-64) | 1.96% 1 | 25.49% 13 | 45.10% 23 | 15.69% 8 | 11.76% 6 | 51 |
| Seniors (ages 65+) | 7.84% 4 | 45.10% 23 | 19.61% 10 | 9.80% 5 | 17.65% 9 | 51 |

Q7 What program/activities would you like to see the City of Selah provide?

Answered: 43 Skipped: 9

| # | RESPONSES | DATE |
|----|--|--------------------|
| 1 | Not sure. | 8/25/2022 10:07 AM |
| 2 | Movie nights, community dinners, gatherings, abilities for fund raising for community groups. | 8/25/2022 9:52 AM |
| 3 | No additional activities are needed and there is adequate space for them. Remember, the more you want from the powers that be, the more you will pay in taxes. | 8/25/2022 5:56 AM |
| 4 | Senior trips. | 8/24/2022 9:32 PM |
| 5 | Street Dance, bigger skate park, outdoor movies in the park, street fairs, senior co-Ed sports, walking groups, line dancing classes, Spanish classes, how to classes - basic tools, crafts, cooking, Bingo night, casino night, singles mixers, daddy/daughter, mother/son, comic con, anime | 8/24/2022 8:15 PM |
| 6 | Indoor sports. | 8/24/2022 4:44 PM |
| 7 | Swimming, running | 8/24/2022 4:10 PM |
| 8 | Adult sports like Volleyball, Softball, etc. | 8/24/2022 3:51 PM |
| 9 | Teen sports and activities | 8/24/2022 3:06 PM |
| 10 | Self Defense with real Instructors. Night out for 40-50-60 at civic center get togethers Indoor soccer Volleyball for 5-8 yr olds | 8/4/2022 1:34 PM |
| 11 | Lacrosse. | 7/11/2022 8:47 AM |
| 12 | More youth sports teams | 7/2/2022 12:30 PM |
| 13 | Kids sports need to go on even if there aren't a certain number of kids playing- just make smaller teams and still play. If there aren't enough refs ask parents to step in and ref | 7/2/2022 1:24 AM |
| 14 | Recreational activities, group events, Parks and Rec after school and summer programs, teen hangout after school or in summer, | 7/2/2022 12:30 AM |
| 15 | There seems to be a growing group of skateboarders. I think it would be great to host a skate board competition, or something that could bring them out and give them a connection in our community. | 7/1/2022 9:45 PM |
| 16 | More adult sports. Crafting or stem camp for k-12. Computer science camps | 7/1/2022 8:54 AM |
| 17 | Hard Apple Cider Festival | 6/30/2022 9:26 PM |
| 18 | Scholarships for underprivileged Selah youth to use the Selah Aquatic Center. A city paid for open swim day at the Selah Aquatics Center. | 6/30/2022 3:43 PM |
| 19 | Pride events. BLM events | 6/30/2022 3:21 PM |
| 20 | Weekend and Evening opportunities | 6/30/2022 2:38 PM |
| 21 | Anything | 6/30/2022 2:17 PM |
| 22 | I would like the city of Selah stop promoting Black Lives Matter and letting groups put those signs up in our beautiful town.If the city of Selah did any research they would know that Blm is a false criminal organization and millions of dollars went to buy houses and mansions it did not help the black community.All they did was burn buildings and summer of 2020 why would you want that in Selah | 6/26/2022 6:39 AM |
| 23 | more community gatherings like Selah Days, 4th of July, National Night Out, etc where community can just come together and mingle, enjoy music, vendors, and the like. Walking | 6/15/2022 10:42 AM |

Selah Parks and Recreation Comp Plan Survey

paths like self-guided walking tours to explore different parts of the city we don't generally pass through. Summertime concerts in the park Day trips for seniors (and others) to area historic or natural places of interest or perhaps even shopping excursions, sporting events, or the casino.

| | | |
|----|---|--------------------|
| 24 | More activities where community can just come together and mingle like community days, national night out, 4th of July, etcetera. Maybe things like concerts in the park. Walking paths. I don't know where in the city there could be something like the greenway, but maybe designated pedestrian routes to explore different parts of the city and connect with the greenway and things. | 6/10/2022 2:27 PM |
| 25 | Community garden and Food Forest! | 6/7/2022 9:05 PM |
| 26 | More family activities | 6/3/2022 9:46 AM |
| 27 | after school programs some afternoon summer gatherings for seniors maybe a shopping trip somewhere | 6/1/2022 9:38 AM |
| 28 | Lots of them | 5/27/2022 6:09 AM |
| 29 | More senior activities would be great. | 5/24/2022 12:04 AM |
| 30 | Archery programs, ultimate Frisbee programs | 5/23/2022 7:05 AM |
| 31 | Adult rec sports leagues Activity days/camps for pre-k kids | 5/20/2022 9:12 PM |
| 32 | I would like to see dedicated soccer fields - like Ellensburg has | 5/20/2022 1:28 PM |
| 33 | More fun runs, more youth sports (expand the number of teams), more night out activities | 5/14/2022 8:47 PM |
| 34 | Wildlife | 5/10/2022 6:47 AM |
| 35 | Adult softball league | 5/10/2022 6:44 AM |
| 36 | No idea | 5/10/2022 5:57 AM |
| 37 | Bike parks, splash pads, more restaurants, adult clubs like badminton, tennis, volleyball, golf | 5/6/2022 11:20 PM |
| 38 | Adult slow pitch softball leagues, splash pads for the kids in the summer | 5/6/2022 10:57 PM |
| 39 | Community Garden. Adult recreation teams, splash pad, talent show, more community dinners, dances for adults or families, activities for adults in the evenings and not during the day...like beginners yoga or painting classes but after normal work day hours. | 5/6/2022 10:49 PM |
| 40 | Hockey! (Probably street) maybe kids golf or tennis, really more kids activities in general | 5/5/2022 6:31 PM |
| 41 | More social events or groups where parents can make friends. | 5/5/2022 5:08 PM |
| 42 | N/A | 5/5/2022 1:32 PM |
| 43 | walking clubs | 3/28/2022 10:07 AM |

Q8 What can the City of Selah do to improve current recreation programs?

Answered: 43 Skipped: 9

| # | RESPONSES | DATE |
|----|--|--------------------|
| 1 | Offer indoor pool for all year use. | 8/25/2022 10:07 AM |
| 2 | Coordinate more events | 8/25/2022 9:52 AM |
| 3 | Nothing | 8/25/2022 5:56 AM |
| 4 | More information about offerings and given out more often | 8/24/2022 9:32 PM |
| 5 | Better communication of opportunities with residents | 8/24/2022 9:23 PM |
| 6 | Advertise, commercials, have someone talk at each city council about what's happening how to get involved, radio advertisement, sponsored social media ads, anything beside just the reader board and the pamphlet. Get involved in other groups, have a here's what we offer kiosk fair inside the civic center. Put fliers in restaurant ticket books, tripods on tables, did you know handouts in grocery bags. I would support a utility tax if someone showed a plan on what they were going to do with it. | 8/24/2022 8:15 PM |
| 7 | Train the referee's better. | 8/24/2022 4:44 PM |
| 8 | Create parks for the activities and more money needs to be put into the programs. | 8/24/2022 4:10 PM |
| 9 | Communication/outreach | 8/24/2022 3:51 PM |
| 10 | Make it available for kids over 12 | 8/24/2022 3:06 PM |
| 11 | Better coaches for sports Invite Master Instructors for Self Defense. More Community Involvement | 8/4/2022 1:34 PM |
| 12 | N/a | 7/11/2022 8:47 AM |
| 13 | Better communication More coaches to allow more participates | 7/2/2022 12:30 PM |
| 14 | Have them! No basketball, no little dribblers, no flag football, shortened soccer, let's get kids out on the fields again! | 7/2/2022 1:24 AM |
| 15 | More events, fun runs, outdoor splash pad in a park, free of charge. | 7/2/2022 12:30 AM |
| 16 | I am not familiar with other programs | 7/1/2022 9:45 PM |
| 17 | Advertise more. The web page is difficult to navigate. Would love more social media presence or advertising through schools, post materials | 7/1/2022 8:54 AM |
| 18 | Be better | 6/30/2022 9:26 PM |
| 19 | Help support directly or indirectly (through scholarships directly to underprivileged youth) the in-city excellent recreational facilities within the City of Selah. | 6/30/2022 3:43 PM |
| 20 | More diversity and inclusion | 6/30/2022 3:21 PM |
| 21 | I really liked the pamphlet that used to be sent out regularly explaining and communicating what activities are offered and when | 6/30/2022 2:38 PM |
| 22 | Add more. Make it cost effective for families. | 6/30/2022 2:17 PM |
| 23 | Stop allowing BLM signs in the town it's disturbing | 6/26/2022 6:39 AM |
| 24 | I'm not truly aware of what all the city's recreational programs are so I guess one of the main things they could do is better publicize what programs are available. | 6/15/2022 10:42 AM |
| 25 | Let people know about them? Just putting them online doesn't cut it. I had to get my granddaughter to show me how to get to this supposedly user friendly link because I don't live | 6/10/2022 2:27 PM |

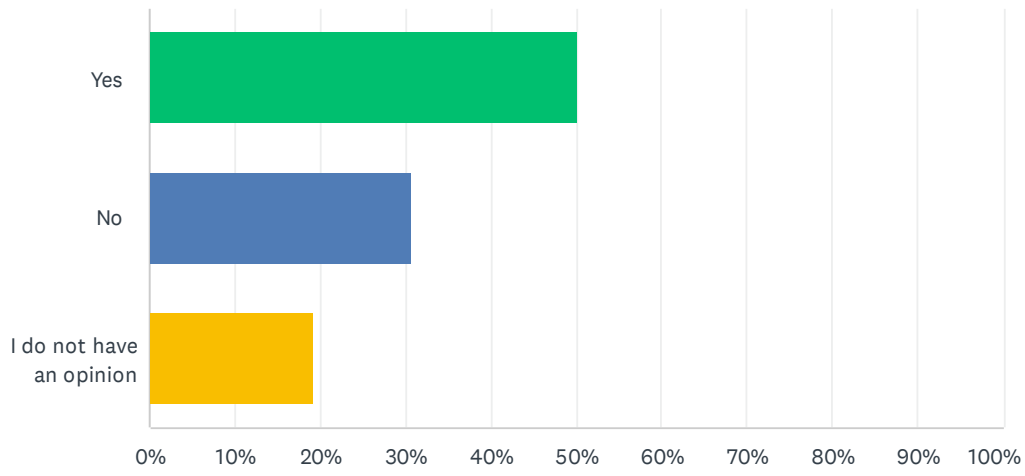
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on a computer. Is there even something somewhere I can just pick up in writing what exactly the parks department actually offers?

| | | |
|----|---|--------------------|
| 26 | NA | 6/7/2022 9:05 PM |
| 27 | Get someone in there that knows about sports. That Gal knows nothing about soccer. Also won't have any decisions | 6/3/2022 9:46 AM |
| 28 | Send out a flyer that states what activities are available and when to sign up for them. | 5/27/2022 6:09 AM |
| 29 | More fields would be helpful. | 5/24/2022 12:04 AM |
| 30 | Better organization of teams and schedules. Provide more area for outdoor activities | 5/23/2022 7:05 AM |
| 31 | Invest in their own soccer fields | 5/20/2022 1:28 PM |
| 32 | Expand the seasons | 5/14/2022 8:47 PM |
| 33 | Nothing | 5/10/2022 6:47 AM |
| 34 | I dont know | 5/10/2022 6:44 AM |
| 35 | No idea | 5/10/2022 5:57 AM |
| 36 | Add splash pads for kids, include a larger variety of sports clubs for adults | 5/6/2022 11:20 PM |
| 37 | Better communication on the website up to date calendars during each of the seasons, more social media presence with reminders to help spread the word about registrations or upcoming big events | 5/6/2022 10:57 PM |
| 38 | Bathrooms open when there are sports on Saturdays, make sure volunteer coaches go to some kind of training about the rules of the games. In terms of refereeing, it would be nice to have kids work on one or two skills a week, let's say basketball and let the coaches know the refs will be calling these two things this week...and then the next week work on their skills and now the refs will be calling these three things, so all coaches could work on one or two skills at practice time for that week and each week build in another skill and so on so kids really understand the fundamentals and the refs could reinforce it...but with progression. So for basketball the first week focus on double dribbling and traveling then the next week add in three in the key and the next week what a foul is etc. | 5/6/2022 10:49 PM |
| 39 | All ok | 5/6/2022 9:42 AM |
| 40 | Standardize between coaches a bit and really put focus on sportsmanship and positive experiences for youth, not cutthroat sports. | 5/5/2022 6:31 PM |
| 41 | Advertising | 5/5/2022 5:08 PM |
| 42 | N/A | 5/5/2022 1:32 PM |
| 43 | not sure | 3/28/2022 10:07 AM |

Q9 Do you believe the City needs dedicated soccer fields?

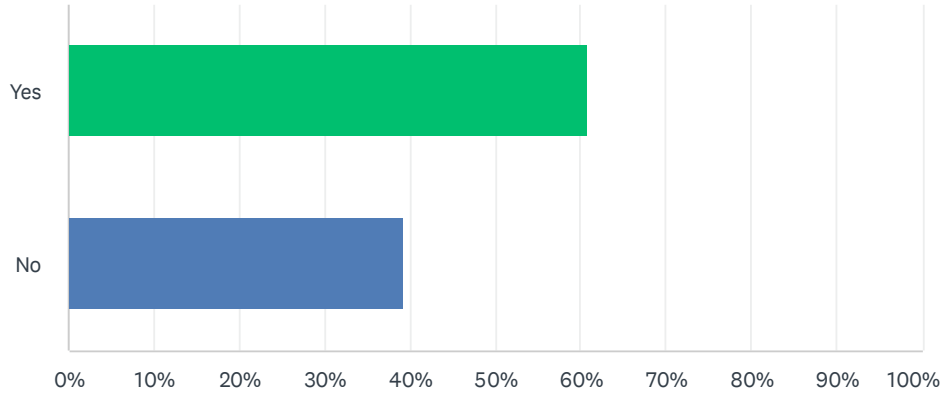
Answered: 52 Skipped: 0



| ANSWER CHOICES | RESPONSES | |
|--------------------------|-----------|-----------|
| Yes | 50.00% | 26 |
| No | 30.77% | 16 |
| I do not have an opinion | 19.23% | 10 |
| TOTAL | | 52 |

Q10 Would you be willing to support a utility tax increase for supplementing the park fund?

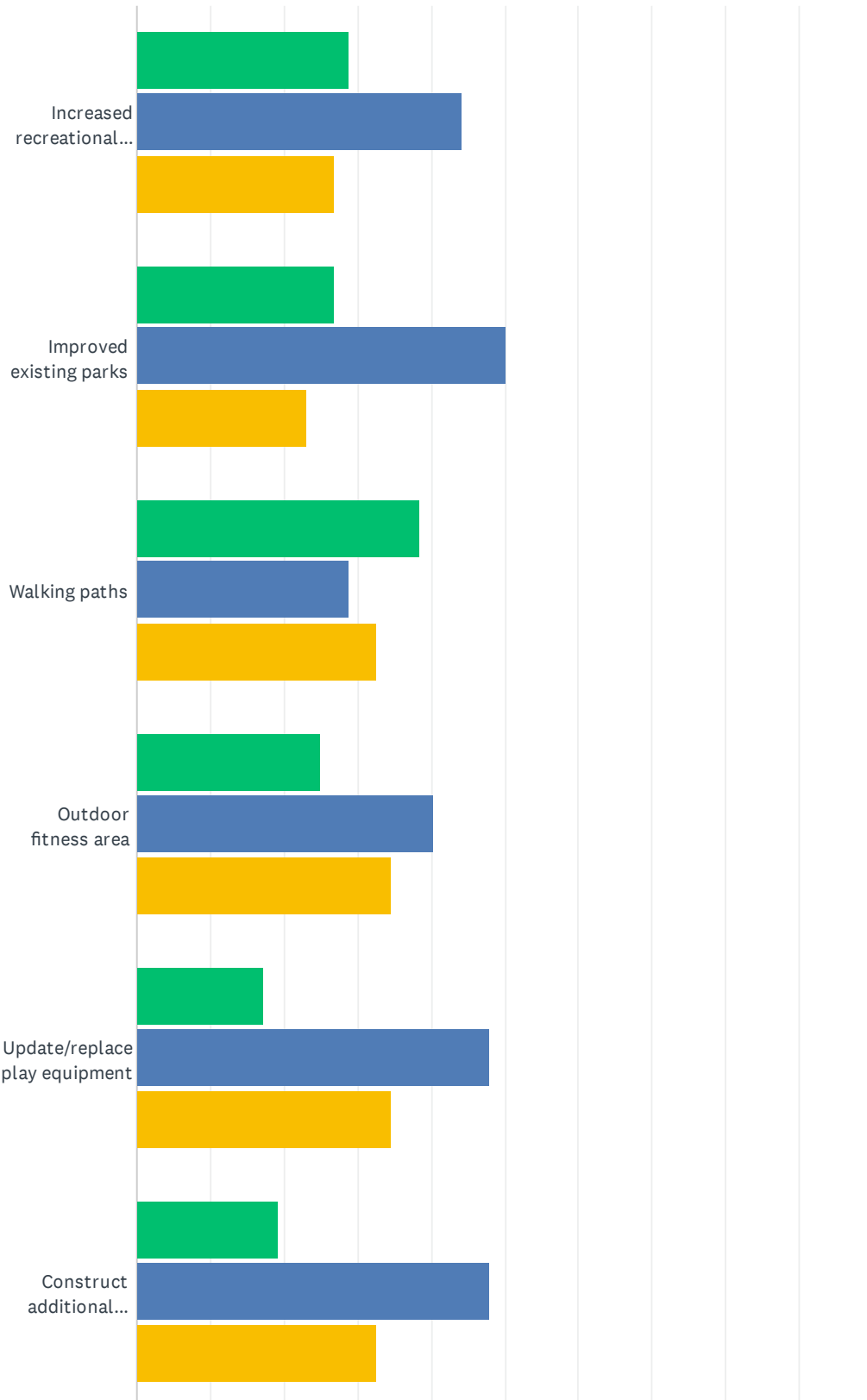
Answered: 51 Skipped: 1



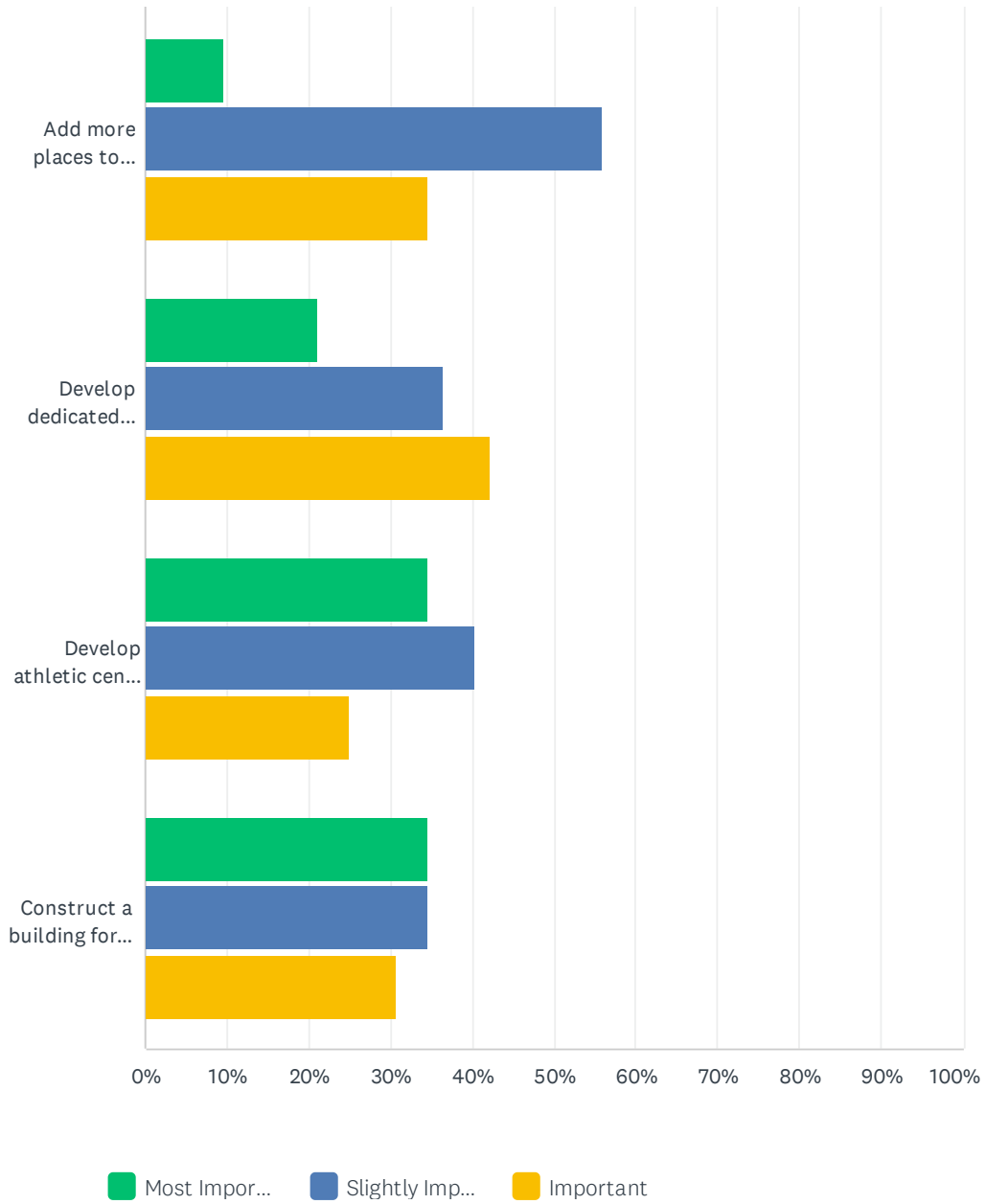
| ANSWER CHOICES | RESPONSES | |
|----------------|-----------|----|
| Yes | 60.78% | 31 |
| No | 39.22% | 20 |
| TOTAL | | 51 |

Q11 Using the list below, choose one priority that is most important, one that is slightly important, and one that is important to your family.

Answered: 52 Skipped: 0



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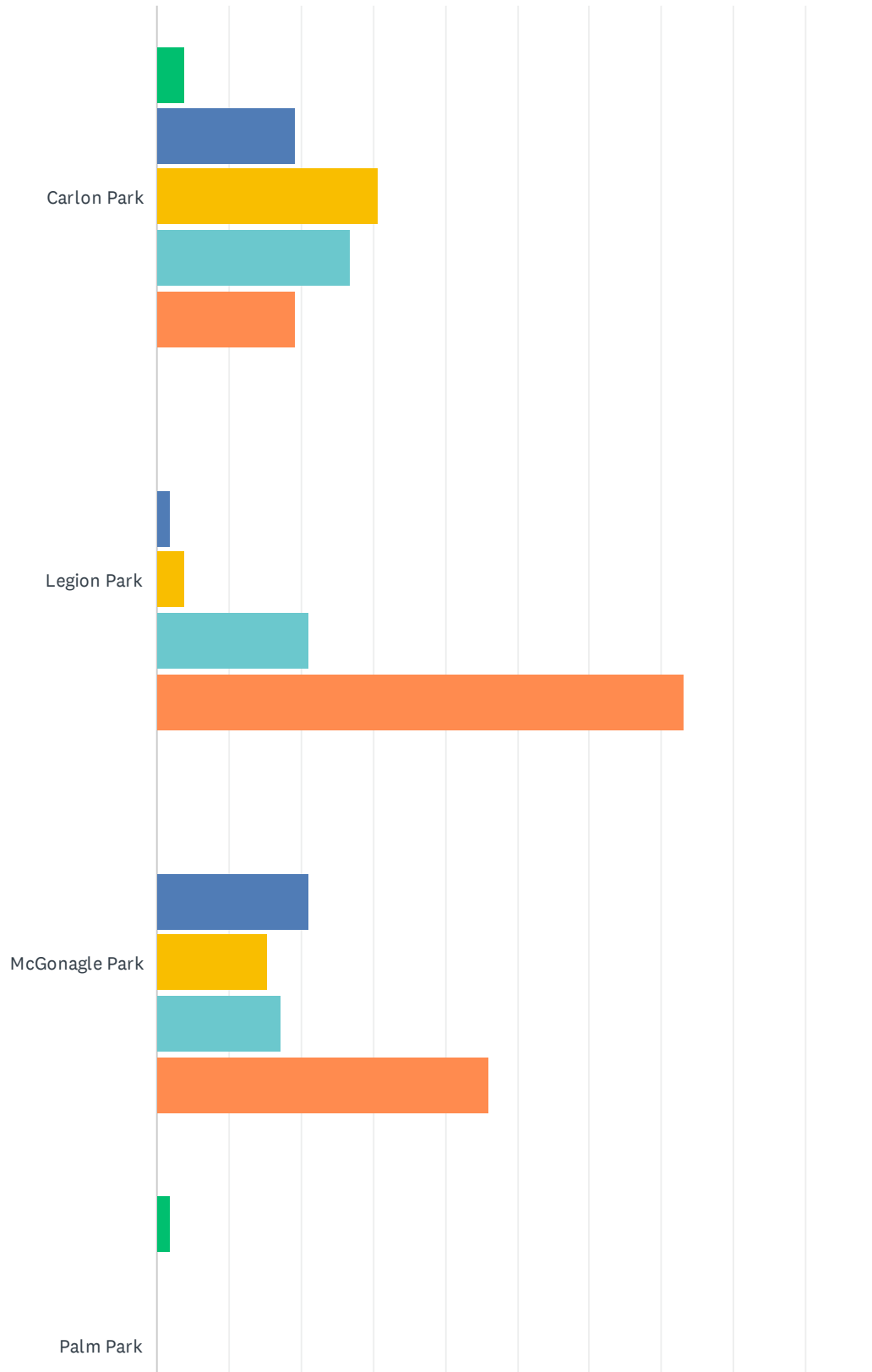


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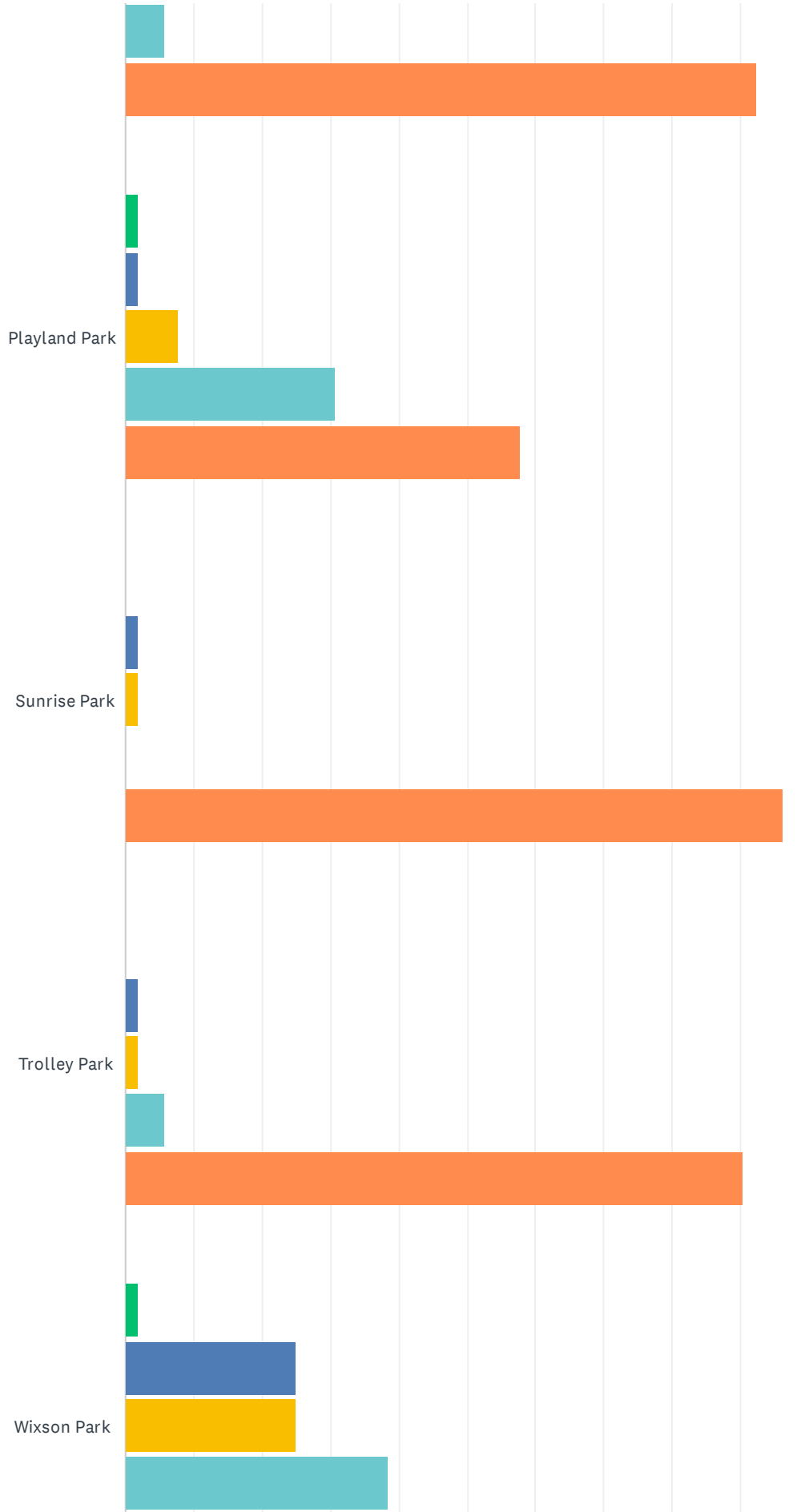
| | MOST IMPORTANT | SLIGHTLY IMPORTANT | IMPORTANT | TOTAL |
|--|---------------------------|-------------------------------|------------------|--------------|
| Increased recreational programming | 28.85% 15 | 44.23% 23 | 26.92% 14 | 52 |
| Improved existing parks | 26.92% 14 | 50.00% 26 | 23.08% 12 | 52 |
| Walking paths | 38.46% 20 | 28.85% 15 | 32.69% 17 | 52 |
| Outdoor fitness area | 25.00% 13 | 40.38% 21 | 34.62% 18 | 52 |
| Update/replace play equipment | 17.31% 9 | 48.08% 25 | 34.62% 18 | 52 |
| Construct additional gazebo (covered) areas with electricity and water | 19.23% 10 | 48.08% 25 | 32.69% 17 | 52 |
| Add more places to barbeque | 9.62% 5 | 55.77% 29 | 34.62% 18 | 52 |
| Develop dedicated soccer fields | 21.15% 11 | 36.54% 19 | 42.31% 22 | 52 |
| Develop athletic center to include restrooms, concessions, and parking | 34.62% 18 | 40.38% 21 | 25.00% 13 | 52 |
| Construct a building for indoor recreational activities | 34.62% 18 | 34.62% 18 | 30.77% 16 | 52 |

Q12 In the past twelve months, how often have you visited one of these parks?

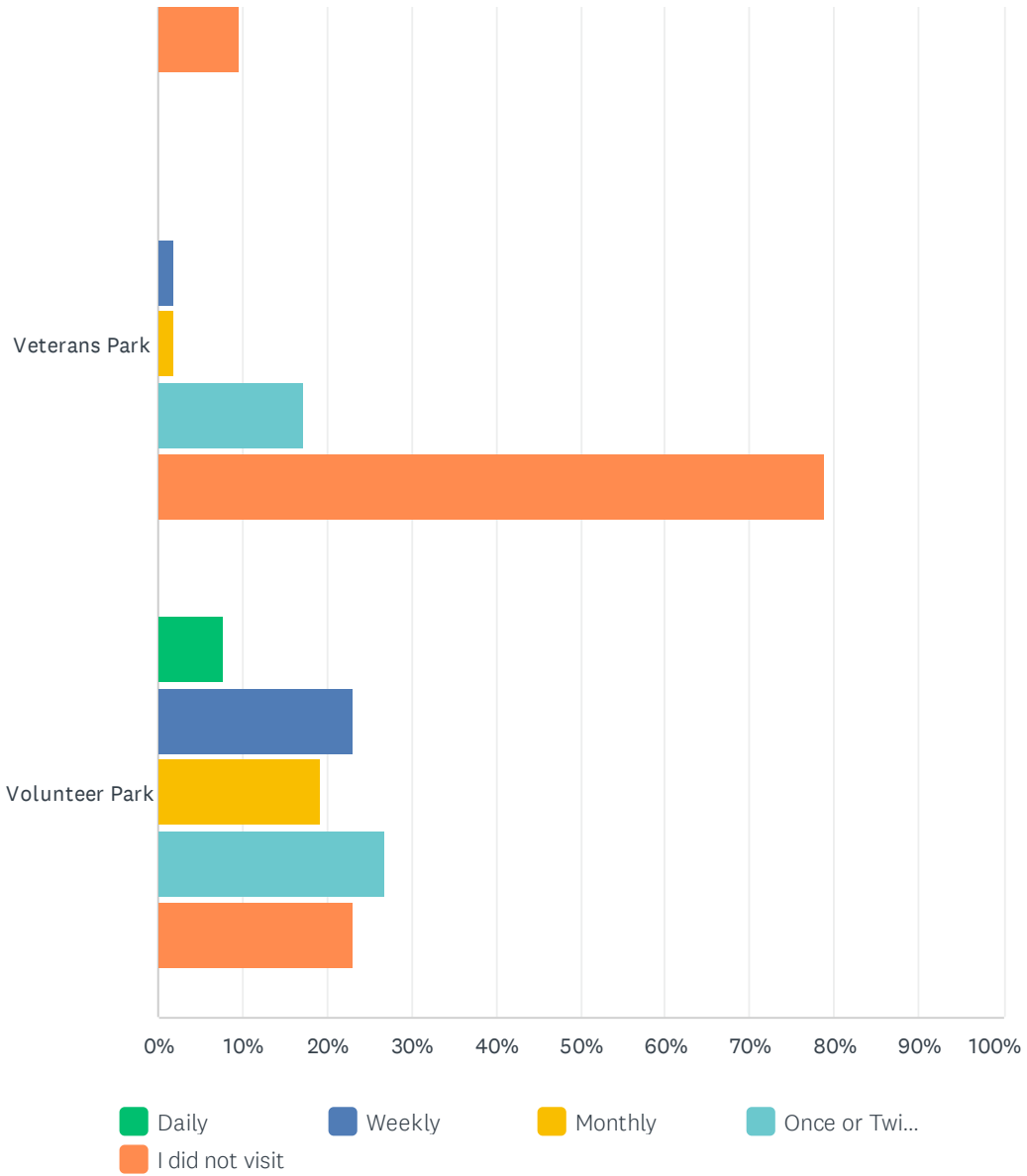
Answered: 52 Skipped: 0



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| | DAILY | WEEKLY | MONTHLY | ONCE OR TWICE | I DID NOT VISIT | TOTAL |
|----------------|------------|--------------|--------------|---------------|-----------------|-------|
| Carlton Park | 3.85% 2 | 19.23% 10 | 30.77% 16 | 26.92% 14 | 19.23% 10 | 52 |
| Legion Park | 0.00% 0 | 1.92% 1 | 3.85% 2 | 21.15% 11 | 73.08% 38 | 52 |
| McGonagle Park | 0.00% 0 | 21.15% 11 | 15.38% 8 | 17.31% 9 | 46.15% 24 | 52 |
| Palm Park | 1.92% 1 | 0.00% 0 | 0.00% 0 | 5.77% 3 | 92.31% 48 | 52 |
| Playland Park | 1.92% 1 | 1.92% 1 | 7.69% 4 | 30.77% 16 | 57.69% 30 | 52 |
| Sunrise Park | 0.00% 0 | 1.92% 1 | 1.92% 1 | 0.00% 0 | 96.15% 50 | 52 |
| Trolley Park | 0.00% 0 | 1.92% 1 | 1.92% 1 | 5.77% 3 | 90.38% 47 | 52 |
| Wixson Park | 1.92% 1 | 25.00% 13 | 25.00% 13 | 38.46% 20 | 9.62% 5 | 52 |
| Veterans Park | 0.00% 0 | 1.92% 1 | 1.92% 1 | 17.31% 9 | 78.85% 41 | 52 |
| Volunteer Park | 7.69% 4 | 23.08% 12 | 19.23% 10 | 26.92% 14 | 23.08% 12 | 52 |

Q13 What do you dislike, if anything, about Selah parks?

Answered: 41 Skipped: 11

| # | RESPONSES | DATE |
|----|---|--------------------|
| 1 | Nothing. They are well maintained. | 8/25/2022 10:07 AM |
| 2 | Nothing. They are nice and well maintained. | 8/25/2022 5:56 AM |
| 3 | Not enough walking trails | 8/24/2022 9:32 PM |
| 4 | It would be nice to have security at a couple of the parks when school Let's out | 8/24/2022 8:15 PM |
| 5 | Some don't have walk isolated walk paths. | 8/24/2022 4:44 PM |
| 6 | N/A | 8/24/2022 4:10 PM |
| 7 | N/a | 8/24/2022 3:51 PM |
| 8 | The fact that they keep trying to get more money for the pool when they were told no multiple times by the people of Selah. I also don't like where I have to answer questions on here like I want walking paths bbq's etc I don't think there important but this line of questions doesn't allow for someone to say no to those which make the votes for these things incorrect. | 8/4/2022 1:34 PM |
| 9 | Sometimes the restrooms are locked | 7/11/2022 8:47 AM |
| 10 | Graffiti Unsafe feeling with teens/older people being disrespectful | 7/2/2022 12:30 PM |
| 11 | Volunteer park needs more shade by the playtoys. Restrooms ar Wilson and Carlin need updating and amenities | 7/2/2022 1:24 AM |
| 12 | They all need covered tables or shaded areas. | 7/2/2022 12:30 AM |
| 13 | I didn't know we had so many parks! :) I will have to take not and look for them. | 7/1/2022 9:45 PM |
| 14 | I love how they are maintained! I think some parks could use more trees and shade. | 7/1/2022 8:54 AM |
| 15 | Poop | 6/30/2022 9:26 PM |
| 16 | Too much area reserved for baseball/softball and not enough open play areas adjacent to same. No dedicated fenced dog parks in various distributed areas of the city. | 6/30/2022 3:43 PM |
| 17 | Fees | 6/30/2022 3:38 PM |
| 18 | The bathrooms are gross and outdated. I also understand the vandalism is ridiculous and limits the desire to have something nice | 6/30/2022 2:38 PM |
| 19 | I hope the city of Selah stops allowing that group to put the BLM signs up in our town it makes it look like we support crime | 6/26/2022 6:39 AM |
| 20 | It looks like there are about twice as many parks as I know about. Does anything happen at them and where are they? | 6/15/2022 10:42 AM |
| 21 | Lack of communication of what's going on in them. Those that I've heard of seem to have groups of people in organized activities like baseball, barbecue, or soccer but I have no idea if they are open to the public or private parties nor do I know, for the most part, when they happen until I happen to go by and see them. | 6/10/2022 2:27 PM |
| 22 | The use of chemicals and lack of edible landscaping and community gardens | 6/7/2022 9:05 PM |
| 23 | Need to get staff that want to work with people. Your sports staff are a joke. Like I mentioned above Staff need to know about the sport. I ask your Lady a question and got the deer in headlights look and was told I have to check with my boss. Wow make a decision Lady | 6/3/2022 9:46 AM |
| 24 | They are fine | 5/27/2022 6:09 AM |
| 25 | Bathroom availability | 5/24/2022 12:04 AM |

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| | | |
|----|---|--------------------|
| 26 | Equipment is outdated in some parks. | 5/23/2022 7:05 AM |
| 27 | Most are not fenced. Many are small and adjacent to busy thoroughfares that preclude use by families. Trash is a repeat issue at many, particularly those with gazebos. Locations are awkward to visit if not living in the immediate neighborhood, discouraging use. | 5/20/2022 9:12 PM |
| 28 | Accessible beauty | 5/20/2022 1:28 PM |
| 29 | N/A | 5/14/2022 8:47 PM |
| 30 | There are a lot of unusable parks. Looking at the question above. Sunrise park & Legion Parks are not really parks. Palm Park is in a neighborhood and so doesn't get used by the community as much. We do have parks but not a lot of toys or creative toys as you see in other communities. | 5/11/2022 12:49 PM |
| 31 | Safety | 5/10/2022 6:47 AM |
| 32 | Tax increases! | 5/10/2022 6:44 AM |
| 33 | N/A | 5/10/2022 5:57 AM |
| 34 | I would like more parks for kids like volunteer park | 5/6/2022 11:20 PM |
| 35 | Lack of programs for adults | 5/6/2022 10:57 PM |
| 36 | No splash pads, scary bathrooms. Carlson park needs more shade. | 5/6/2022 10:49 PM |
| 37 | Nothing | 5/6/2022 9:42 AM |
| 38 | Could use more shade | 5/5/2022 6:31 PM |
| 39 | More covered area to protect from the hot summer sun | 5/5/2022 5:08 PM |
| 40 | N/A | 5/5/2022 1:32 PM |
| 41 | lack of shade | 3/28/2022 10:07 AM |

Q14 What additions, if any, would you like to see added to Selah parks?

Answered: 39 Skipped: 13

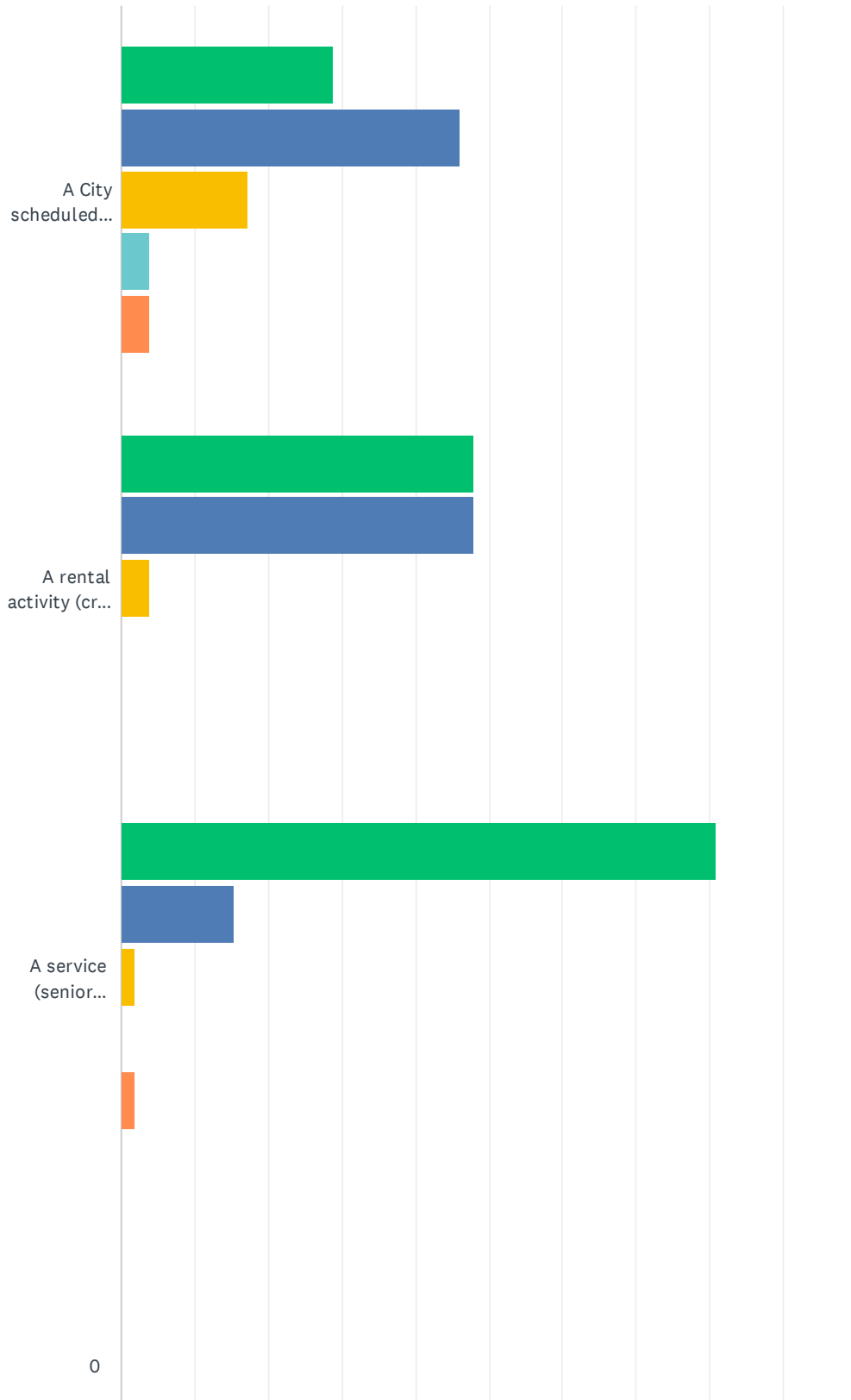
| # | RESPONSES | DATE |
|----|---|--------------------|
| 1 | More handicap accessible. | 8/25/2022 10:07 AM |
| 2 | I see no need for additions. | 8/25/2022 5:56 AM |
| 3 | More picnic tables | 8/24/2022 9:32 PM |
| 4 | Security at certain times of the day. Updated bathrooms. | 8/24/2022 8:15 PM |
| 5 | More seasonal water equipment/ toys. Isolated walking areas. | 8/24/2022 4:44 PM |
| 6 | N/A | 8/24/2022 4:10 PM |
| 7 | None | 8/24/2022 3:51 PM |
| 8 | Na | 8/24/2022 3:06 PM |
| 9 | Cut cost to use the Civic center for residents of Selah. Charge more for out of Selah usage. | 8/4/2022 1:34 PM |
| 10 | Drinking fountains | 7/11/2022 8:47 AM |
| 11 | More security Nicer bathrooms More trash cans | 7/2/2022 12:30 PM |
| 12 | Splash pad for kids to play in for free, water features at parks during the hot days | 7/2/2022 1:24 AM |
| 13 | Splash pads, covered areas, water fountains, basketball courts in the smaller neighborhood parks | 7/2/2022 12:30 AM |
| 14 | Not sure the community needs to know the additions needed. | 7/1/2022 9:45 PM |
| 15 | Things that will not increase the tax burden and not lure homeless to occupy. | 7/1/2022 8:54 AM |
| 16 | Less poop | 6/30/2022 9:26 PM |
| 17 | Dog parks, they like to play too! | 6/30/2022 3:43 PM |
| 18 | Shade at The baseball field over the seating areas. A whiffle ball field. Tai chi area. More use of community stage. Bring back community days to Wixon | 6/30/2022 2:38 PM |
| 19 | Stop allowing BLM signs in our town , it shows that we condone violence | 6/26/2022 6:39 AM |
| 20 | I'm a little old to participate but Playland is the only volleyball area I've seen. Perhaps there's others in the parks I'm not familiar with. I enjoy the path around the perimeter of Volunteer Park and would like to see more things like that and perhaps with some exercise or stretching stations along the way. | 6/10/2022 2:27 PM |
| 21 | Community gardens, food Forests, and educational programs for gardening ecologically! | 6/7/2022 9:05 PM |
| 22 | More restrooms | 6/3/2022 9:46 AM |
| 23 | Restrooms and play structures | 5/27/2022 6:09 AM |
| 24 | At volunteer park it would be great to have gates on the openings around the playground. It would make it safer for parents with multiple small children so they couldn't make a dash into the busy parking lot. | 5/24/2022 12:04 AM |
| 25 | Updated equipment for Wixon and Palm Park. | 5/23/2022 7:05 AM |
| 26 | A splash pad. Bike racks. Seating near playgrounds, particularly at volunteer park. | 5/20/2022 9:12 PM |
| 27 | Dog Park | 5/20/2022 1:28 PM |
| 28 | More basketball hoops | 5/14/2022 8:47 PM |

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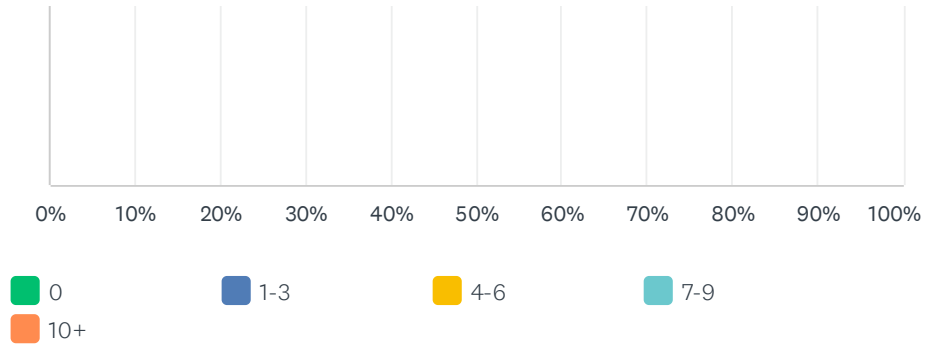
| | | |
|----|--|--------------------|
| 29 | I'd like to see a park with different toys. A rock-like climbing area, some nets. There are a lot of cool ideas in other communities I'd be willing to help explore. | 5/11/2022 12:49 PM |
| 30 | Safety | 5/10/2022 6:47 AM |
| 31 | No idea | 5/10/2022 5:57 AM |
| 32 | Splash pads for kiddos | 5/6/2022 11:20 PM |
| 33 | Splash pad for kids | 5/6/2022 10:57 PM |
| 34 | Splash Pads | 5/6/2022 10:49 PM |
| 35 | None | 5/6/2022 9:42 AM |
| 36 | Shade trees, parking | 5/5/2022 6:31 PM |
| 37 | More covered space | 5/5/2022 5:08 PM |
| 38 | N/A | 5/5/2022 1:32 PM |
| 39 | covered areas | 3/28/2022 10:07 AM |

Q15 In the last twelve months, how often have you visited the Selah Civic Center?

Answered: 52 Skipped: 0



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| | 0 | 1-3 | 4-6 | 7-9 | 10+ | TOTAL |
|---|--------------|--------------|-------------|------------|------------|-------|
| A City scheduled activity (Hot Rods on First Street, community meeting, etc.) | 28.85% 15 | 46.15% 24 | 17.31% 9 | 3.85% 2 | 3.85% 2 | 52 |
| A rental activity (crab feed, wedding, birthday party, etc.) | 48.08% 25 | 48.08% 25 | 3.85% 2 | 0.00% 0 | 0.00% 0 | 52 |
| A service (senior exercise, yoga, meals on wheels, etc.) | 80.77% 42 | 15.38% 8 | 1.92% 1 | 0.00% 0 | 1.92% 1 | 52 |
| 0 | 0.00% 0 | 0.00% 0 | 0.00% 0 | 0.00% 0 | 0.00% 0 | 0 |

Q16 What activities would you like to see added to the Civic Center?

Answered: 39 Skipped: 13

| # | RESPONSES | DATE |
|----|---|--------------------|
| 1 | Not sure. | 8/25/2022 10:07 AM |
| 2 | Didn't know they existed. | 8/25/2022 9:52 AM |
| 3 | None. | 8/25/2022 5:56 AM |
| 4 | I don't have any ideas | 8/24/2022 9:32 PM |
| 5 | Any of the items listed under the city already mentioned. Line dancing, bingo, | 8/24/2022 8:15 PM |
| 6 | More feed ideas. | 8/24/2022 4:44 PM |
| 7 | Adult dance classes, bingo? | 8/24/2022 3:51 PM |
| 8 | Something for teens | 8/24/2022 3:06 PM |
| 9 | Law enforcement appreciation night. For any Law enforcement officers in that live in Selah. | 8/4/2022 1:34 PM |
| 10 | Baseball card shows. | 7/11/2022 8:47 AM |
| 11 | Unknown | 7/2/2022 12:30 PM |
| 12 | Music/Bands | 7/2/2022 12:30 AM |
| 13 | Na | 7/1/2022 9:45 PM |
| 14 | Stem or craft activities. Programs to help enrich the community such as work composting, water conservation, how to's on jam making, recipe classes using local produce, etc | 7/1/2022 8:54 AM |
| 15 | Ale festival | 6/30/2022 9:26 PM |
| 16 | Organized/supervised kid summertime activities when it's too hot outside in the sun. Kids are our most valuable resource, even though they can't vote. | 6/30/2022 3:43 PM |
| 17 | Pride events, BLM support | 6/30/2022 3:21 PM |
| 18 | Movie night. Update sound system. After school program partnered with school district. Flea market. | 6/30/2022 2:38 PM |
| 19 | Activities wherebyou do not see BLM signs | 6/26/2022 6:39 AM |
| 20 | I actually didn't know all those things implied in the previous question were happening. I thought it was just used for club meetings, bazaars, and private parties. I don't know that you'd call it an activity, but publishing a schedule of activities and services would be nice. | 6/15/2022 10:42 AM |
| 21 | In reference to the previous question, I didn't know those services were offered. How do I find out about them? Are they open to everyone or how do I qualify? I don't think I can answer what activities I "would like to see added " when I don't know what activities are already offered. | 6/10/2022 2:27 PM |
| 22 | Dancing, socials, environmental responsibility educational | 6/7/2022 9:05 PM |
| 23 | Family activities | 6/3/2022 9:46 AM |
| 24 | Adult activities that offer child care might be well attended if parents didn't have to get a sitter. Or an evening movie night for kids so parents could go out to dinner or a movie. A charge would need to be included | 6/1/2022 9:38 AM |
| 25 | What activities are available? Maybe if I knew what they were we would use them. | 5/27/2022 6:09 AM |
| 26 | Social events for seniors | 5/24/2022 12:04 AM |
| 27 | nA | 5/20/2022 1:28 PM |

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| | | |
|----|---|--------------------|
| 28 | N/A | 5/14/2022 8:47 PM |
| 29 | Not sure. I love the idea of an after school program to utilize the Civic Center. I think that is an A+ idea. | 5/11/2022 12:49 PM |
| 30 | Stripers | 5/10/2022 6:47 AM |
| 31 | No idea | 5/10/2022 5:57 AM |
| 32 | None | 5/6/2022 11:20 PM |
| 33 | None at this time | 5/6/2022 10:57 PM |
| 34 | Family dances, talent show, family dinner nights, bazar, auction | 5/6/2022 10:49 PM |
| 35 | None | 5/6/2022 9:42 AM |
| 36 | Adult exercise, kids clubs? | 5/5/2022 6:31 PM |
| 37 | More parent centered activities where we can make new friends. Card nights or something. | 5/5/2022 5:08 PM |
| 38 | N/A | 5/5/2022 1:32 PM |
| 39 | yoga | 3/28/2022 10:07 AM |

Q17 What would you like to see updated/changed at the Civic Center?

Answered: 38 Skipped: 14

| # | RESPONSES | DATE |
|----|---|--------------------|
| 1 | Nothing. | 8/25/2022 10:07 AM |
| 2 | More advertising of what you have | 8/25/2022 9:52 AM |
| 3 | Nothing. | 8/25/2022 5:56 AM |
| 4 | None | 8/24/2022 9:32 PM |
| 5 | 1- SOUND SYSTEM 2- Update stage make it wheel chair accessible 3- high tech screen and projector 4-remove the shingles from the back of the room and update the decor 5- put in professional rings on the sides of the hall walls for hanging lights 6-screens for updates and information 7-PAINT 8-ask for professional help! Hire someone who knows decor 9- create a welcoming entrance 10-Hire a event planner | 8/24/2022 8:15 PM |
| 6 | It's okay. | 8/24/2022 4:44 PM |
| 7 | We really need a new civic center | 8/24/2022 4:10 PM |
| 8 | Na | 8/24/2022 3:06 PM |
| 9 | Better parking/ Surveys that are fairly questioned. | 8/4/2022 1:34 PM |
| 10 | It would be nice to do something that is not another car event. | 7/31/2022 9:21 AM |
| 11 | The outside and inside are quite outdated | 7/11/2022 8:47 AM |
| 12 | I think it's great and serves its purpose | 7/2/2022 12:30 PM |
| 13 | lighting | 7/2/2022 12:30 AM |
| 14 | Well going in is pretty bland and out dated. So the esthetics and layout, I assume. | 7/1/2022 9:45 PM |
| 15 | Selah is an amazing town. Our civic center should reflect that through a more updated facade and inside. It would be amazing if it had both an indoor and outdoor area to it to meet a variety of community needs. | 7/1/2022 8:54 AM |
| 16 | Less poop | 6/30/2022 9:26 PM |
| 17 | Sound system update. All around update and remodel entire facility | 6/30/2022 2:38 PM |
| 18 | Stop allowing BLM signs in the front of the building , it makes it look like we the city of selah are okay with violence and burning of buildings | 6/26/2022 6:39 AM |
| 19 | It's an old building that has an old look and feel to it. Along with some modernization in aesthetics, I sure it could probably use some updating of electrical, plumbing, and the sort. Does it have "class rooms" where there could be things like computer classes or other areas of interest? Is there an area to just drop in and hang out, maybe play cribbage or work on a puzzle? I am so glad that I heard about this survey because I think I've learned more about what you do by you asking how you can improve it than I knew what you did when I started. Today it seems like everything is on the computer. It's on the computer. It's on the computer. It's on the computer. Well, many of us don't have a computer. How are we supposed to know about it? And if I get a computer, how do I find what's available? | 6/15/2022 10:42 AM |
| 20 | It has an old, outdated feel when you walk in. I don't understand that theater lobby look when you first walk in. Based on the age of the building, I'm sure there are things like plumbing and electrical that need to be updated. I have no idea what all the side rooms are but the big room in the middle could be used for some of those community gatherings I mentioned earlier in the survey. Is it used for anything besides bazaars and private parties? | 6/10/2022 2:27 PM |
| 21 | Brighten up to look less institutional more friendly and fun | 6/7/2022 9:05 PM |

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| | | |
|----|--|--------------------|
| 22 | Need a new building | 6/3/2022 9:46 AM |
| 23 | out side face lift | 6/1/2022 9:38 AM |
| 24 | Not sure. Upgraded parking is nice. | 5/27/2022 6:09 AM |
| 25 | Better sound/Acoustics throughout, Better technology access | 5/23/2022 7:05 AM |
| 26 | Not much. It's a clean, functional community center. | 5/20/2022 9:12 PM |
| 27 | Restrooms | 5/20/2022 1:28 PM |
| 28 | N/A | 5/14/2022 8:47 PM |
| 29 | Updated, but I'd rather have a bunch of other things before we put more money into the Civic Center. Other than a remodel for Parks offices... | 5/11/2022 12:49 PM |
| 30 | Christmas lights | 5/10/2022 6:47 AM |
| 31 | More function and flow between rooms | 5/10/2022 5:57 AM |
| 32 | Chairs and seating | 5/6/2022 11:20 PM |
| 33 | Outdoor murals | 5/6/2022 10:57 PM |
| 34 | The entire building. At least get a nicer floor. | 5/6/2022 10:49 PM |
| 35 | Nothing | 5/6/2022 9:42 AM |
| 36 | It could use a makeover....the roof could be one color and just look more modern inside and out. | 5/5/2022 5:08 PM |
| 37 | The whole center needs revamped. | 5/5/2022 1:32 PM |
| 38 | the bathrooms | 3/28/2022 10:07 AM |



C.

Scoring Sheet Results

| | Description | Scorer #1 | Scorer #2 | Scorer #3 | Scorer #4 | Scorer #5 | Scorer #6 | Scorer #7 | Scorer #8 | Scorer #9 | Scorer #10 | Scorer #11 | Scorer #12 | Total Raw Score | Overall Rank | |
|--|---|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|------------|------------|------------|-----------------|--------------|---------------------------------|
| | | | | | | | | | | | | | | | | |
| Carlton Park | Crack seal interior area | 200 | 270 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 205 | 200 | 195 | 1070 | 2 | Sports Parks |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| McGonagle Park | Crack seal existing parking lot | 210 | 270 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 205 | 200 | 195 | 1080 | 1 | Sports Parks |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| Playland Park | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | Community Parks |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| Wixson Park | Construct concrete sidewalks between gazebo and restrooms | 165 | 225 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 195 | 210 | 215 | 1010 | 4 | Community Parks |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| Volunteer Park (aka Dolores Huerta Park) | Install shade sails | 145 | 260 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 165 | 230 | 215 | 1015 | 3 | Community Parks |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| Legion Park | Quarry spill island | 155 | 195 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 165 | 200 | 175 | 890 | 10 | Neighborhood Parks |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| Palm Park | Update basketball court | 175 | 250 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 185 | 210 | 175 | 995 | 5 | Neighborhood Parks |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| Veteran's Park | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | Neighborhood Parks |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| Sunrise Park | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | Neighborhood Parks |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| Civic Center | ADA improvements | 205 | 210 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 185 | 150 | 220 | 970 | 7 | Parks and Recreation Facilities |
| | Dry landscape islands | 165 | 205 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 185 | 210 | 185 | 950 | 8 | |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| Youth Center | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | Parks and Recreation Facilities |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| Parks and Recreational Offices | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | Parks and Recreation Facilities |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| Trails | Trolley Park - Dry landscaping improvements | 145 | 185 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 185 | 200 | 175 | 890 | 10 | Public Recreation |
| | Home Avenue sidewalk improvements | 150 | 220 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 155 | 190 | 180 | 895 | 9 | |
| | Naches Avenue sidewalk improvements 3rd St to 1st St | 150 | 220 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 155 | 190 | 110 | 825 | 13 | |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| New Programs | Adult Frisbie Golf League | 175 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 170 | 200 | 185 | 730 | 14 | New |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| New Parks | Planning addition of RV Park | 175 | 165 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 165 | 180 | 155 | 840 | 12 | New |
| | Planning addition of a soccer complex | 205 | 200 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 175 | 210 | 200 | 990 | 6 | |

Short-term Improvements

Workshop Comments: There are two rank #10s, so there is no #11.

| | | Scorer #1 | Scorer #2 | Scorer #3 | Scorer #4 | Scorer #5 | Scorer #6 | Scorer #7 | Scorer #8 | Scorer #9 | Scorer #10 | Scorer #11 | Scorer #12 | Total Raw Score | Overall Rank | |
|--|---|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|------------|------------|------------|-----------------|--------------|---------------------------------|
| Carlson Park | Hardball field lighting (MUSCO) | 155 | 270 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 185 | 170 | 185 | 965 | 6 | Sports Parks |
| | Pave/bricks area grand stand (Hardball) | 145 | 255 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 185 | 200 | 185 | 970 | 5 | |
| | Complete replacement of tennis courts | 190 | 170 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 210 | 220 | 200 | 990 | 4 | |
| | Add basketball hoops at tennis courts | 190 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 225 | 190 | 205 | 810 | 14 | |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| McGonagle Park | Pave lower lot | 210 | 205 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 210 | 200 | 225 | 1050 | 2 | Sports Parks |
| | Playground (big toy set) | 200 | 250 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 170 | 210 | 185 | 1015 | 3 | |
| | Pave walking path | 210 | 250 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 200 | 190 | 205 | 1055 | 1 | |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| Playland Park | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| Wixson Park | Fitness Court/Pad | 180 | 225 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 185 | 140 | 195 | 925 | 7 | Community Parks |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| Volunteer Park (aka Dolores Huerta Park) | Gazebo | 170 | 235 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 85 | 160 | 155 | 805 | 15 | Community Parks |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| Legion Park | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| Palm Park | Playground (big toy set) | 180 | 230 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 145 | 150 | 175 | 880 | 10 | Neighborhood Parks |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| Veteran's Park | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| Sunrise Park | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| Civic Center | Vehicle charging station | 0 | 185 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 145 | 150 | 135 | 615 | 16 | Parks and Recreation Facilities |
| | Conference room | 135 | 230 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 125 | 210 | 165 | 865 | 11 | |
| | Gazebo in east/southeast parking lot | 145 | 235 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 125 | 180 | 145 | 830 | 13 | |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | | |
| Youth Center | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| Parks and Recreational Offices | Expand offices | 155 | 230 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 125 | 200 | 145 | 855 | 12 | Parks and Recreation Facilities |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| Trails | McGonagle Road sidewalk improvements | 145 | 240 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 175 | 190 | 165 | 915 | 8 | Public Recreation |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| New Programs | Add adult recreation programs | 165 | 210 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 125 | 250 | 145 | 895 | 9 | New |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| New Parks | RV Parking | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |

Workshop Comments:

| | | Scorer #1 | Scorer #2 | Scorer #3 | Scorer #4 | Scorer #5 | Scorer #6 | Scorer #7 | Scorer #8 | Scorer #9 | Scorer #10 | Scorer #11 | Scorer #12 | Total Raw Score | Overall Rank | | |
|------------------------|--------------------------------|--|------------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|------------|------------|------------|-----------------|--------------|---------------------------------|--------------------|
| | | | | | | | | | | | | | | | | | |
| Long-term Improvements | Carlson Park | Grade ballfields and complete irrigation replacement | 200 | 260 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 225 | 220 | 205 | 1110 | 1 | Sports Parks |
| | | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | | |
| | | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | McGonagle Park | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | Community Parks |
| | | | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | Playland Park | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | Neighborhood Parks |
| | | | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | Wixson Park | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | Neighborhood Parks |
| | | | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | Volunteer Park (aka dolores Huerta Park) | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | Neighborhood Parks |
| | | | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | Legion Park | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | Neighborhood Parks |
| | | | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | Palm Park | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | Neighborhood Parks |
| | | | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | | |
| | Veteran's Park | Install Memorial Wall | 140 | 225 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 135 | 180 | 125 | 805 | 3 | Neighborhood Parks |
| | | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | | |
| | | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | | |
| | Sunrise Park | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | Neighborhood Parks | |
| | | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | | |
| | | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | | |
| | Civic Center | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | Parks and Recreation Facilities | |
| | | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | | |
| | | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | | |
| | Youth Center | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | Parks and Recreation Facilities | |
| | | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | | |
| | | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | | |
| | Parks and Recreational Offices | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | Parks and Recreation Facilities | |
| | | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | | |
| | | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | | |
| | Trails | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | Public Recreation | |
| | | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | | |
| | | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | | |
| | New Programs | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | Public Recreation | |
| | | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | | |
| | | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | | |
| | New Parks | Soccer Complex (Speyers Road) | 155 | 210 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 145 | 200 | 135 | 845 | 2 | New |
| | | | RV Parking | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |
| | | | | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | | |

Workshop Comments:



D.

**Parks and Recreation Packet
for Establishing the
Thresholds, Criteria, and
LOS for Selah Parks
and Recreation Plan
(Workshop Packet)**

SELAH PARKS AND RECREATION PLAN



HLA PROJECT NO. 21201E

**PARKS AND RECREATION PACKET FOR ESTABLISHING
THE THRESHOLDS, CRITERIA, AND LOS FOR
SELAH PARKS AND RECREATION PLAN**

OCTOBER 2022

Parks and Recreation Packet for Establishing the Thresholds, Criteria, and LOS for Selah Parks and Recreation Plan

This packet includes:

1. An Executive Statement revised from the goals contained in the 2020 DRAFT Parks and Recreation Comprehensive Plan.
2. Objectives revised to be included in the 2022 Parks and Recreation Plan.
3. Priorities originally listed in the Executive Summary of the 2020 DRAFT Parks and Recreation Comprehensive Plan and revised to be included in the 2022 Parks and Recreation Plan.
4. Proposed Targets for the 2022 Parks and Recreation Plan with identified Levels of Service (LOS) for each target.
5. Proposed Screening Criteria before using the evaluation process for staff proposed programs and improvements.
6. Short-term programs and improvements identified through the City's public processes.
7. Mid-term programs and improvements identified through the City's public processes.
8. Long-term programs and improvements identified through the City's public processes.

Executive Statement

Encouraging positive parks and recreation experiences for the City of Selah's families and visitors requires understanding needs expressed through public processes, evaluating potential programs and capital investments with locally developed objectives and thresholds, and implementing those opportunities which increase equitable wellness options, enhance access, and promote human connectivity.

Ensuring outdoor play is more accessible and attractive, increases connections to nature and each other regardless of age or ability, promotes healthy development, increases neighborhood presence, and therefore increases safety in public spaces.

Participants of the September 29, 2022 Parks and Recreation Plan Workshop used the following objectives and priorities to establish Level of Service (LOS) targets, program or improvement screening questions, and scoring criteria to establish an evaluation process for future parks and recreation program and improvement assessment. The workshop participants recommend City staff use the proposed process and consider prioritizing the park and recreation programs and improvements included in this packet in the 2022 Parks and Recreation Plan (2022 P&R Plan).

Objectives listed in the Executive Summary of the 2020 DRAFT Parks and Recreation Comprehensive Plan and Recommended for the 2022 P&R Plan

- Objective 1: Protect the community's investment in parks and recreation by providing adequate and continual funding for operation and maintenance of community parks, recreation programs, and cultural activities.
- Objective 2: Strategically expand parks and recreation sites, facilities, and programs by seeking financial support from a variety of sources and encouraging private sector contributions to public recreation opportunities.
- Objective 3: Recognize, respect, and incorporate Selah's historic, cultural, and natural resources through parks and recreation programs.
- Objective 4: Work in partnership with the Selah School District, Selah Parks Foundation, Selah Park And Recreation Service Area (SPRSA), Selah Chamber of Commerce, Selah Downtown Association, civic groups, and businesses, to ensure availability and variety of parks and recreation.
- Objective 5: Seek involvement from the community when determining needs and priorities for parks and recreation.
- Objective 6: Recognize the value of volunteerism for maintaining parks, organizing events, and delivering recreation programs. Maximize individuals' and organizations' contributions of commitment and involvement to enhance sustainability of parks and recreation.

Priorities listed in the Executive Summary of the 2020 DRAFT Parks and Recreation Comprehensive Plan

- Priority 1: Complete Civic Center updates to ensure its ability to sustain user groups over the next five years.
- Priority 2: Develop an outdoor youth athletic facility to address the immediate needs of more than 1,200 youth participating in Selah youth sports annually and to increase sports opportunities for young and middle adults.

Priority 3: Increase recreational programming to offer various opportunities with the goal of continued interaction with youth currently in our programs and those we have not yet reached.

Priority 4: Enhance existing outdoor areas by accessing state and federal grants and encouraging local support for improved parks, playgrounds, and trail systems.

Priority 5: Increase numbers and types of local lodging opportunities and attractive amenities in support of accommodating current and expanding offerings of outdoor events.

Targets considered during the development of Selah’s 2022 P&R Plan

Targets typically follow a set of guidelines and have the following characteristics: specific, measurable, achievable, relevant, and timebound. The workshop participants recommend the following criteria and resulting Levels of Service (LOS):

| TABLE 1. POPULATION DISTANCE FROM PARKS AND TRAILS WITHIN SERVICE AREA | | | | | |
|---|--------------|--------------|--------------|--------------|--------------|
| | LOS A | LOS B | LOS C | LOS D | LOS E |
| Percentage of population within 0.5 miles of a neighborhood park/trail | >75% | 61 – 75% | 46 – 60% | 30-45% | <30% |
| Percentage of population within 3.0 miles of a community park/trail | >51% | 41-50% | 31-40% | 21-30% | <20% |
| Percentage of population within 5.0 miles of a regional park/trail | >46% | 36-45% | 26-35% | 16-25% | <15% |

| TABLE 2. DRINKING WATER AVAILABLE YEAR-ROUND AT EACH PARK WITH A RESTROOM | | | | | |
|--|--------------|--------------|--------------|----------------|--------------------------------|
| | LOS A | LOS B | LOS C | LOS D | LOS E |
| Drinking Water Availability | Year-round | 3 seasons | 2+ seasons | Within 1 block | Potable water is not available |

| TABLE 3. TOILETS AVAILABLE YEAR-ROUND AT EACH COMMUNITY PARK | | | | | |
|---|---|--|---|---|---------------------------|
| | LOS A | LOS B | LOS C | LOS D | LOS E |
| Toilets Availability | Toilets are available year-round, fully accessible, in a permanent structure, and in new condition or rehabilitated within last 3 years | Toilets are available during 3 seasons, in a permanent structure, and in fair condition or rehabilitated within last 8 years | Toilets are available during 2+ seasons | Toilets are available during special events only, are temporary, and portable | Toilets are not available |

| TABLE 4. WATER INTERACTION OR OTHER ATTRACTIONS AVAILABLE IN AT LEAST TWO PARKS DURING THE SUMMER | | | | | |
|--|---|--|---|---|--------------|
| | LOS A | LOS B | LOS C | LOS D | LOS E |
| Water interaction availability | Splash pad or similar interactive water feature available, in new condition or rehabilitated within last 3 years, ADA accessible, and available during the summer | Simplified water feature such as one or more misters available, in fair condition, along an ADA accessible path, available during the summer | Small water features such as a fountain, pond, or water wall offering minimal interaction | No water interaction available in parks during the summer | N/A |

| TABLE 5. BASKETBALL COURTS AVAILABLE IN AT LEAST TWO PARKS AND IN USABLE CONDITION OR BETTER | | | | | |
|---|--|---|--|---|---------------------------------|
| | LOS A | LOS B | LOS C | LOS D | LOS E |
| Basketball court availability and condition | Basketball courts available, in new condition or rehabilitated within last 3 years | Basketball courts available, in fair condition or rehabilitated within last 8 years | Basketball courts available, in minimal usable condition, but requiring rehabilitation in the next 2 years | Basketball courts in poor condition requiring replacement | Basketball courts not available |

| TABLE 6. SOCCER FIELDS OR OPEN SPACE AVAILABLE IN AT LEAST ONE PARK | | | | | |
|--|--|--|---|---|---|
| | LOS A | LOS B | LOS C | LOS D | LOS E |
| Soccer fields availability and condition | Permanent soccer fields available, in new condition or rehabilitated within last 2 years | Soccer fields available, in fair condition or open space available for establishing semi-permanent soccer fields | Open space available for setting up temporary soccer fields | Open space available for informal soccer play | Soccer fields or open space for temporary soccer fields not available |

| TABLE 7. TENNIS COURTS AVAILABLE IN AT LEAST ONE PARK AND IN USABLE CONDITION OR BETTER | | | | | |
|--|--|---|--|---|-----------------------------|
| | LOS A | LOS B | LOS C | LOS D | LOS E |
| Tennis court availability and condition | Tennis courts available, in new condition or rehabilitated within last 3 years | Tennis courts available, in fair condition or rehabilitated within last 8 years | Tennis courts available, in minimal usable condition, but requiring rehabilitation in the next 2 years | Tennis courts in poor condition requiring replacement | Tennis courts not available |

| TABLE 8. ONE MILE OF TRAILS AND TRAIL CONNECTIONS IN THE CITY PER 1,000 POPULATION | | | | | |
|---|--|---|--|--|---|
| | LOS A | LOS B | LOS C | LOS D | LOS E |
| Trails, routes, and pathway availability and connectivity | Well-marked, ADA compliant, walking facilities available, connecting community activity centers, in new condition or rehabilitated within the last 3 years | Well-connected pedestrian facilities, with good neighborhood connectivity, and in fair condition or rehabilitated within the last 8 years | Sidewalks available, in minimal usable condition, but requiring rehabilitation in the next 2 years | Unimproved walking or bicycling area available | Walking and bicycle facilities not available and not recommended for safety reasons |

| TABLE 9. RECREATION PROGRAMS OFFERED FOR ALL AGE BRACKETS | | | | | |
|--|---|---|--|--|---|
| | LOS A | LOS B | LOS C | LOS D | LOS E |
| Recreation program availability | Recreation programs are offered for youth, young adults, and senior persons of all abilities and for every season both indoors and outdoors | Indoor or outdoor recreation programs are offered for multiple age groups for 3 seasons | Recreation programs are available during 1-2 seasons, are based on interest thresholds, and require registration | Recreation programs are managed privately, are limited to registered participants, and require personal approval | Individuals may use recreational spaces when not reserved |

Table 10 combines the population forecast, parks, their amenities, and targets listed above to provide the current and forecast quantitative targets and the targets status'.

TABLE 10. SELAH'S PARKS AND RECREATION TARGETS

| Facility Need | Current Target (status) using 2020 Census population of 8,360 | 2040 Target (status) by population forecast of 9,899 |
|-----------------------------------|--|---|
| Active parks | 9 (9) | 10 (9) |
| Open space | 45 acres (45 acres) | 55 acres (45 acres) |
| Park and trail head potable water | 5 (0) | 5 (0) |
| Community Park toilets | 5 (5) | 5 (5) |
| Water interaction | 2 (1) | 2 (1) |
| Basketball courts | 2 (2) | 4 (2) |
| Soccer fields | 1 (0) | 2 (0) |
| Tennis courts | 1 (1) | 1 (1) |
| Tracks, trails, and connections | 8 miles (8 miles) | 12 miles (8 miles) |

Adopting evaluation criteria such as those listed below can assist this and future committees in screening programs and improvements before evaluation.

Screen proposed programs and capital improvements with the following questions and considerations:

- Is the proposed program or improvement completely contained inside the City Limits or the City's UGA?
 - If yes, continue through screening.
 - If no, is the proposed program or improvement connected to regional trails which are actively being planned and properly coordinated with all partners?
 - If yes, specify the portion of the regional trail the City will include in this Plan, and continue through screening.
 - If no, then do not proceed without proper City Council concurrence.

- Is the program or improvement consistent with the City's Park and Recreation Plan executive statement, objectives, and priorities?
 - If yes, list specific objectives and priorities.
 - If no, is there a compelling reason for amending the program or improvement into the Parks and Recreation Plan ahead of the next customary P&R Plan update?
 - If no, has the program or improvement been evaluated by City staff and City Council, and deemed of higher priority than programs and improvements on the existing prioritized list?
 - If yes, state the reason for making the new program or improvement a higher priority (i.e., immediate, and unanticipated funding program with unusual requirements, infrastructure emergency allows for accelerated consideration, public-private partnership making funding available for program or improvement, etc.)

- Does the City budget allow for inclusion of the program or improvement in addition to programs and improvements already identified on the prioritized list, or does the City reasonably anticipate grant or other funding to complement the funding allowable in the City budget?
 - If yes, list the sources of funding anticipated to allow for inclusion of this program or improvement and the year the complete funding will be available.
 - If no, will the priority of this program or improvement supersede any of the existing programs or improvements on the priority list?
 - If no, then hold the program or improvement for consideration during the next P&R Plan update.

- Does the City have direct managerial or budgetary control over the program, improvement, or recreational facility within the next six years?
 - If yes, allow for inclusion of this program or improvement and the year the complete funding will be available.
 - If no, will the City have direct managerial or budgetary control over the recreational facility in the mid-term or long-term planning timeframe before improvements are proposed?
 - If yes, then include the program or improvement for consideration during the appropriate timeframe in the Capital Improvement Program.

- Is ongoing maintenance of the proposed program or improvement identified in the City's budget and sustainable?
 - If yes, show the anticipated maintenance schedule and estimated cost of ongoing maintenance, and if known, the anticipated year of replacement consideration (asset management).
 - If no, has the public shown positive support of a user's fee to satisfy ongoing maintenance?
 - If yes, show the supportive action.
 - If no, the program or improvement can be shown as an unfunded, planned program or improvement without a year of anticipated construction or purchase.

Selah has nine parks totaling approximately 45 acres, one civic center, and Parks and Recreational offices. Although the City has a water park within City limits, the Bruce Buchanan Memorial Aquatic Center is not a municipal pool and is not managed by the City.

The City may lease facilities owned and operated by the School District to hold City-sponsored events or activities. Although the City is not responsible for preservation or improvements to School District properties, a similar recreation inventory covering school district recreational equipment and infrastructure is included in the 2022 P&R Plan because of the funding nexus between school districts and cities.

Selah demolished the municipal pool, and a new aquatic center was constructed in Selah. The aquatic center is owned and operated by Selah Park and Recreation Service Area Board, a junior taxing district governed by a seven-member volunteer board appointed by the City and Yakima County Commissioners. Any mention of pool inventories and improvements in the 2022 P&R Plan are similarly separate to those listed for Selah School District facilities.

The programs and improvements scored and ranked in the appendix of this packet are those for which the City has full decision-making and financial responsibility and recommended to City staff by the workshop participants.

Scoring and Ranking to Develop a 2022 P&R Plan Capital Improvement Program

The programs and improvements evaluated were identified in various City planning documents or added as a result of public outreach during the City’s P&R survey or proposed during the workshop. All are presented in the following table as recommended for City staff consideration.

Workshop participants assigned points to the following nine proposed scoring criteria. The scoring method was then used to evaluate programs and improvements presented to workshop participants.

Programs and improvements were ranked based on raw scores. City staff and City Council may adjust the ranking for a number of reasons, including but not limited to:

- Future departmental or general budgets,
- Public support,
- Legacy status, or
- Unanticipated opportunity for program or improvement advancement.

The workshop recommends the top five prioritized programs and improvements proceed with developing estimates and exhibits for inclusion in the appendices of the 2022 P&R Plan.

Scoring Criteria

1. Vetted – has this program or improvement been previous prioritized through City planning processes?

| Points | Category |
|--------|--|
| 20 | Previously prioritized in more than two planning documents undergoing public process |
| 5 | Previously prioritized in County or Regional planning documents |

2. Preservation – does this program or improvement preserve a City investment?

| Points | a. Program Category |
|--------|---|
| 30 | Extends the life of the program for 1-5 years |
| 20 | Extends the life of the program for 6-10 years |
| 10 | Extends the life of the program for greater than 10 years |

| Points | b. Improvement Category |
|--------|---|
| 20 | Extends the life of the improvement for 1-5 years |
| 30 | Extends the life of the improvement for 6-10 years |
| 10 | Extends the life of the improvement for greater than 10 years |

3. Completion – does the program or improvement fill in identified gaps?

| Points | Category |
|--------|---|
| 10 | Completes the identified gap and makes the program or improvement whole |
| 30 | Partially fills or satisfies a distinguishable portion of the program or improvement and allows continued use at a level of at least 50% of the ideal |
| 20 | Partially fills or satisfies a distinguishable portion of the program or improvement at a minimal level |

4. Replacement – does this program or improvement maintain a similar level of service?

| Points | Category |
|--------|---|
| 20 | Increased level of service than the original program or improvement |
| 30 | Maintains a similar level of service to the original program or improvement |
| 10 | Maintains an acceptable level of service though less than previously supplied |

5. Safety – does this program or improvement enhance safety of City services?

| Points | Category |
|--------|---|
| 30 | Provides a similar level of public safety |
| 10 | Increases public safety |
| 20 | Encourages safety improvements in a systemic manner |

6. Inclusion – does this program or improvement provide greater access to people of all ages and abilities?

| Points | Category |
|--------|--|
| 10 | Provides a similar level of access to most of the population currently participating |
| 30 | Increases access to more levels of age and/or mobility |
| 20 | Encourages access improvements to accommodate age and mobility in a systemic manner |

7. Frequency – is this program or improvement in a high foot traffic park?

| Points | Category |
|--------|---|
| 10 | Public outreach results show this park or program is in the top half of all parks or programs in terms of use frequency |
| 30 | Public outreach results show this park or program is in the top ¼ of all parks or programs in terms of use frequency |

8. Feasibility – is this program or improvement able to be budgeted for in the customary City budget without financial assistance?

| Points | a. Program Category |
|--------|--|
| 20 | The City budget can accommodate the program in the current budget without financial assistance |
| 30 | The City budget is not able to accommodate the program without charging fees, or creating a City tax |
| 10 | The City budget is not able to accommodate the program without seeking external funding |

| Points | b. Improvement Category |
|--------|--|
| 30 | The City budget can accommodate the improvement in the current budget without financial assistance |
| 10 | The City budget is not able to accommodate the improvement without charging fees, or creating a City tax |
| 20 | The City budget is not able to accommodate the improvement without seeking external funding |

9. Sustainability – once implemented, is this program or improvement able to be maintained through the customary City budget without external financial assistance?

| Points | Category |
|--------|--|
| 30 | The City budget can accommodate the maintenance to preserve investment in the program or improvement without external financial assistance |
| 20 | The City budget is not able to accommodate the maintenance to preserve investment of the program or improvement without charging fees or creating a City tax |
| 10 | The City budget is not able to accommodate the maintenance to preserve investment of the program or improvement without seeking external funding |

The workshop participants chose to take the scoring sheet handouts home to fill out separately and return to the Parks and Recreation department by October 6, 2022. The scoring sheet results are included as an Appendix to this packet and the top five programs and improvements for short-term, mid-term, and long-term timeframe is included in Table 12 on the next page.

In Table 11, there are two rows of qualitative evaluation defined. One row defines the color coding used in the Priority column and the other row identifies comparative magnitude of cost.

| TABLE 11. SELAH'S PARKS AND RECREATION EVALUATION DEFINITIONS | | | |
|---|---------------------------------|--|-----------------------------------|
| Time frame for Development | Short-term (S-#) (1-5 years) | Mid-term (M-#) (6-15 years) | Long-term (L-#) (>16 years) |
| Comparative Magnitude of Cost | Low cost = \$ (<\$174,000) | Mid cost - \$\$ (\$175,000 – \$750,000) | High cost =\$\$\$ (>\$750,000) |

In addition to a brief title, an anticipated cost range, and the time period the City plans to implement the improvement, there is a column in Table 12 displaying potential funding sources. Funding sources displayed in Table 12 are illustrative. Some ranked projects on the scoring sheets in the appendix would be eligible for funding sources listed below Table 12 which do not appear in Table 12. Sources, purposes, and availability of all listed examples are subject to change between P&R Plan updates. Acronyms used in Table 12 are defined below the table.

Selah will develop refined program and improvement details at the time each is considered ready for seeking funding to ensure a comprehensive and current estimate is performed.

| TABLE 12. SELAH'S PARKS AND RECREATION PRIORITIES | | | |
|---|--|--|---|
| Priority | Project Examples | Comparative Magnitude of Cost \$ = Low \$\$ = Mid \$\$\$ = High | Funding Source Examples |
| S-1 | McGonagle Park – Crack seal existing parking lot. | \$ | RCO, City, Private |
| S-2 | Carlton Park – Crack seal interior area. | \$ | RCO, ARPA, City, Private |
| S-3 | Volunteer Park (aka Dolores Huerta Park) – Install shade sails. | \$ | RCO, ARPA, City, Private |
| S-4 | Wixson Park – Construct concrete sidewalks between gazebo and restrooms. | \$ | RCO, ARPA, PBP, CS, STBG Set-aside, City, Private |
| S-5 | Palm Park – Update basketball court. | \$\$ | RCO, ARPA, City, Private |
| M-1 | McGonagle Park – Pave walking path. | \$\$ | RCO, ARPA, PBP, CS, STBG Set-aside, City, Private |
| M-2 | McGonagle Park – Pave lower lot. | \$ | RCO, ARPA, City, Private |
| M-3 | McGonagle Park – Create playground, install big toy set | \$\$ | RCO, ARPA, City Private |
| M-4 | Carlton Park – Complete replacement of tennis courts. | \$ | RCO, ARPA, City, Private |
| M-5 | Carlton Park – Create pavers/bricks area in the hardball grand stand. | \$\$ | RCO, City, Private |
| L-1 | Carlton Park – Grade ballfields and complete irrigation replacement. | \$\$ | RCO, ARPA, City, Private |
| L-2 | New Parks – Construct a soccer complex (Speyers Road) | \$\$\$ | USDA-RD, CDBG, RCO, ARPA, City, Private |
| L-3 | Veteran's Park – Install a memorial wall. | \$\$ | RCO, City, Private |

RCO – Washington State Recreation and Conservation Office

CDBG – United States Department of Housing and Urban Development – Community Development Block Grant

USDA-RD – United States Department of Agriculture – Rural Development

PBP – Pedestrian and Bicyclist Program (WSDOT)

SRTS – Safe Routes to School (WSDOT)

WTSC – Washington Traffic Safety Commission

STBG Set-Aside– United States Department of Transportation – Surface Transportation Block Grant – Set-Aside (AKA Transportation Alternatives Program (TAP))

TIB – Transportation Improvement Board

CS – Complete Streets (TIB)
WSDOT – Washington State Department of Transportation
ARPA – Yakima County American Rescue Plan Act
City – Budgeted funds from General, Parks and Recreation, or Public Works annual budgets
Private – Potential funds collected as donations from private sources



E.

Estimates and Exhibits

CITY OF SELAH
Carlton Park Improvements
Engineer's Opinion of Construction Cost

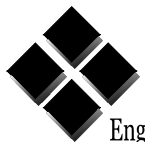
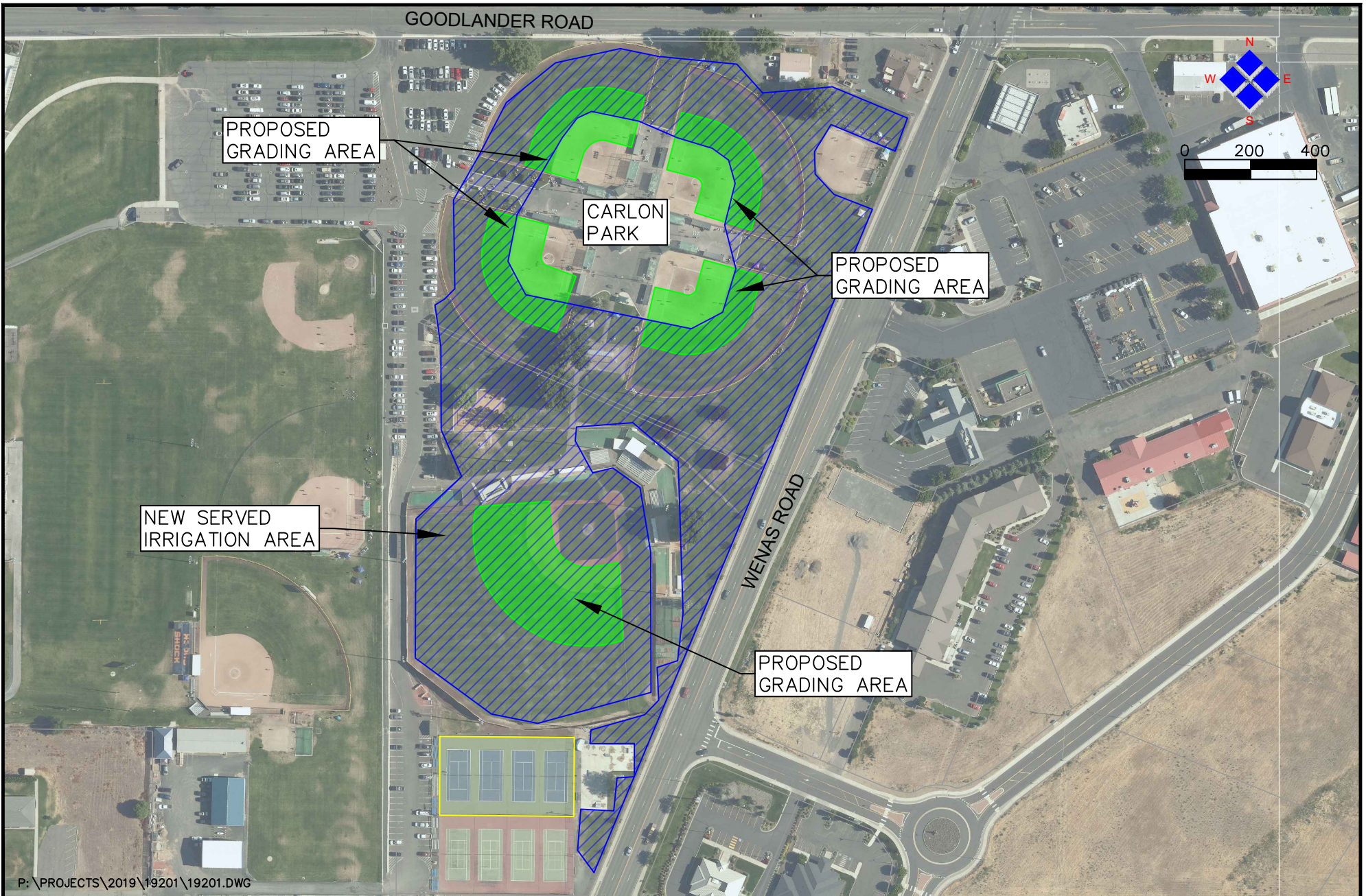
11/15/2022
 PRELIMINARY

HLA Project No. 19201

| Item No. | Description | Payment Specification | Unit | Unit Cost | Overall Quantity | Overall Cost |
|--|-----------------------|-----------------------|------|-------------|------------------|---------------------|
| 1 | Minor Change | 1-04.4(1) | FA | \$5,000.00 | 1 | \$5,000.00 |
| 2 | SPPC Plan | 1-07.15(1) | LS | \$1,000.00 | 1 | \$1,000.00 |
| 3 | Mobilization | 1-09.7 | LS | \$12,000.00 | 1 | \$12,000.00 |
| 4 | Site Grading | 2-03.5 | CY | \$20.00 | 7,200 | \$144,000.00 |
| 5 | Irrigation System | 8-03.5 | LS | \$64,000.00 | 1 | \$64,000.00 |
| 6 | Landscape Restoration | 8-02.5 | FA | \$15,000.00 | 1 | \$15,000.00 |
| Subtotal | | | | | | \$241,000.00 |
| Contingency 15% | | | | | | \$36,200.00 |
| Total Estimated Construction Cost | | | | | | \$277,200.00 |
| Design Engineering | | | | | | \$10,000.00 |
| Construction Engineering | | | | | | \$10,000.00 |
| Total Estimated Project Cost | | | | | | \$297,200.00 |

Assumptions:

1. 2' depth on areas that need grading
2. 8000 L.F of irrigation



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|-----------------------------------|-------------------|
| JOB NUMBER: 19201 | DATE: 11-15-22 |
| FILE NAMES: DRAWING: 19201.dwg | |
| DESIGNED BY: | TDA |
| ENTERED BY: | CHC |

CITY OF SELAH
 CARLON PARK IMPROVEMENTS EXHIBIT

CITY OF Selah
McGongale Park Improvements
Engineer's Opinion of Construction Cost

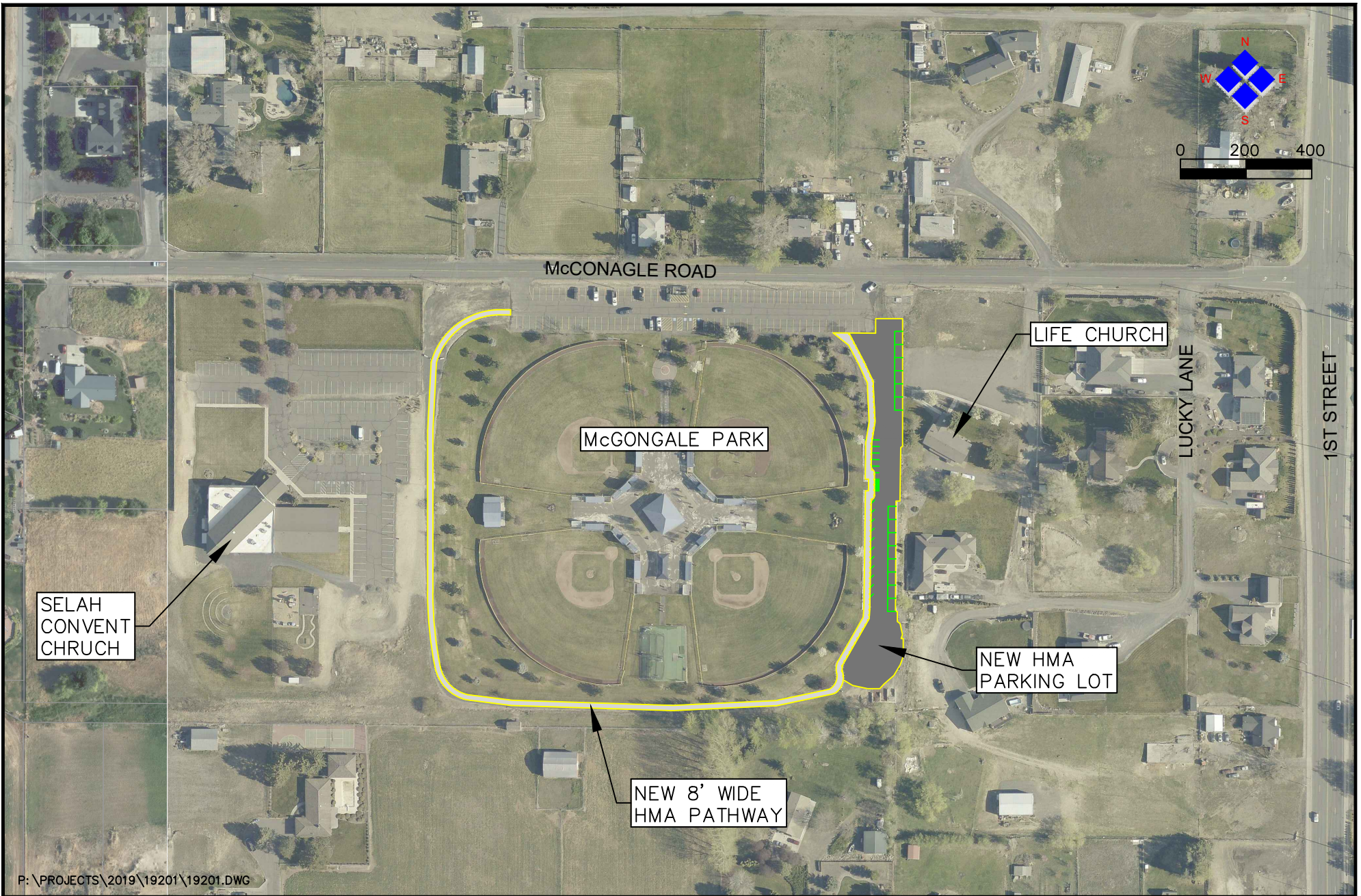
11/15/2022
 PRELIMINARY

HLA Project No. 19201

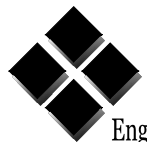
| Item No. | Description | Payment Specification | Unit | Unit Cost | Overall Quantity | Overall Cost |
|--|------------------------------------|-----------------------|------|-------------|------------------|---------------------|
| 1 | Minor Change | 1-04.4(1) | FA | \$5,000.00 | 1 | \$5,000.00 |
| 2 | SPCC Plan | 1-07.15(1) | LS | \$1,000.00 | 1 | \$1,000.00 |
| 3 | Mobilization | 1-09.7 | LS | \$16,000.00 | 1 | \$16,000.00 |
| 4 | Project Temporary Traffic Control | 1-10.5 | LS | \$5,000.00 | 1 | \$5,000.00 |
| 5 | Clearing and Grubbing | 2-01.5 | LS | \$1,000.00 | 1 | \$1,000.00 |
| 6 | Unclassified Excavation Incl. Haul | 2-03.5 | CY | \$30.00 | 1,150 | \$34,500.00 |
| 7 | Crushed Surfacing Top Course | 4-04.5 | TON | \$40.00 | 1,250 | \$50,000.00 |
| 8 | HMA Cl. 3/8-Inch PG 64H-28 | 5-04.5 | TON | \$120.00 | 550 | \$66,000.00 |
| 9 | Bollard | 7-14.5 | EA | \$400.00 | 72 | \$28,800.00 |
| 10 | Landscape Restoration | 8-02.5 | FA | \$5,000.00 | 1 | \$5,000.00 |
| 11 | Pavement Markings | 8-22.5 | LS | \$10,000.00 | 1 | \$10,000.00 |
| Subtotal | | | | | | \$222,300.00 |
| Contingency 15% | | | | | | \$33,300.00 |
| Total Estimated Construction Cost | | | | | | \$255,600.00 |
| Design Engineering | | | | | | \$15,000.00 |
| Construction Engineering | | | | | | \$15,000.00 |
| Total Estimated Project Cost | | | | | | \$285,600.00 |

Assumptions:

1. 2" HMA pathway at 8' wide
2. 3" HMA parking lot
3. 6" CSTC for both parking lot and pathway



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|-----------------------------------|-------------------|
| JOB NUMBER: 19201 | DATE: 11-15-22 |
| FILE NAMES: DRAWING: 19201.dwg | |
| DESIGNED BY: | TDA |
| ENTERED BY: | CHC |

CITY OF SELAH
McGONGALE PARK IMPROVEMENTS EXHIBIT

CITY OF SELAH
Veterans Park Memorial
Engineer's Opinion of Construction Cost

11/15/2022
 PRELIMINARY

HLA Project No. 19201

| Item No. | Description | Payment Specification | Unit | Unit Cost | Overall Quantity | Overall Cost |
|----------|---|-----------------------|------|-------------|------------------|--------------|
| 1 | Minor Change | 1-04.4(1) | FA | \$5,000.00 | 1 | \$5,000.00 |
| 2 | Mobilization | 1-09.7 | LS | \$10,000.00 | 1 | \$10,000.00 |
| 3 | Project Temporary Traffic Control | 1-10.5 | LS | \$5,000.00 | 1 | \$5,000.00 |
| 4 | Clearing and Grubbing | 2-01.5 | LS | \$5,000.00 | 1 | \$5,000.00 |
| 5 | Unclassified Excavation Incl. Haul | 2-03.5 | CY | \$60.00 | 20 | \$1,200.00 |
| 6 | Site Grading | 2-03.6 | CY | \$30.00 | 30 | \$900.00 |
| 7 | Concrete Structures (Pigmented Stamped Cement Conc. Stairs) | 6-02.5 | LS | \$12,500.00 | 1 | \$12,500.00 |
| 8 | Landscape Restoration | 8-02.5 | FA | \$1,000.00 | 1 | \$1,000.00 |
| 9 | Pigmented Stamped Cement Conc. | 8-14.5 | SY | \$250.00 | 90 | \$22,500.00 |
| 10 | Illumination System, Complete | 8-20.5 | LS | \$10,000.00 | 1 | \$10,000.00 |
| 11 | Sentinals (Pre-Cast Concrete) with granite face | | EA | \$6,500.00 | 9 | \$58,500.00 |
| 12 | Sentinal Placement | | EA | \$1,000.00 | 9 | \$9,000.00 |

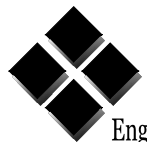
| | | |
|--|--|---------------------|
| | Subtotal | \$140,600.00 |
| | Contingency 15% | \$21,100.00 |
| | Total Estimated Construction Cost | \$161,700.00 |
| | Design Engineering | \$15,000.00 |
| | Construction Engineering | \$15,000.00 |
| | Total Estimated Project Cost | \$191,700.00 |

Assumptions:

1. 6" stamped concrete
2. 1' depth of site grading
3. Unclassified quantity is an estimate
4. Assuming memorial will surround the existing circular structure currently at the park
5. New memorial will be aproximatley 800 S.F. around the existing Structure
6. Sentinal amount based of area of the new stamped concrete
7. Does not include a pathway or benches
8. Illumination is only for the new sentinals
9. 3 steps along the radius of the new stamped pigmented concrete



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|-----------------------------------|-------------------|
| JOB NUMBER: 19201 | DATE: 11-15-22 |
| FILE NAMES: DRAWING: 19201.dwg | |
| DESIGNED BY: | TDA |
| ENTERED BY: | CHC |

CITY OF SELAH
VETERANS PARK EXHIBIT

CITY OF SELAH**Volunteer Park (aka Dolores Huerta) Improvements
Engineer's Opinion of Construction Cost**11/15/2022
PRELIMINARY

HLA Project No. 19201

| Item No. | Description | Payment Specification | Unit | Overall Quantity | Unit Cost | Overall Cost |
|----------|------------------------------|-----------------------|------|------------------|--|--------------------|
| 1 | Minor Change | 1-04.4(1) | FA | 1 | \$5,000.00 | \$5,000.00 |
| 2 | Mobilization | 1-09.7 | LS | 1 | \$5,000.00 | \$5,000.00 |
| 3 | Landscape Restoration | 8-02.5 | FA | 1 | \$5,000.00 | \$5,000.00 |
| 4 | Shade Structure Kit | | EA | 3 | \$10,000.00 | \$30,000.00 |
| 5 | Shade Structure Installation | | EA | 3 | \$4,000.00 | \$12,000.00 |
| | | | | | Subtotal | \$57,000.00 |
| | | | | | Contingency 15% | \$8,600.00 |
| | | | | | Total Estimated Construction Cost | \$65,600.00 |

Assumptions:

- No existing grading needed

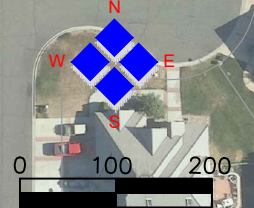


YAKIMA VALLEY SCHOOL

PROPOSED SHADE SAILS AREA

VOLUNTEER PARK aka DOLORES HUERTA

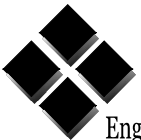
PROPOSED SHADE SAILS AREA



RINDA COURT

MERINDA DRIVE

P:\PROJECTS\2019\19201\19201.DWG



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| JOB NUMBER: 19201 | DATE: 11-15-22 |
| FILE NAMES: DRAWING: 19201.dwg | |
| DESIGNED BY: | TDA |
| ENTERED BY: | CHC |

CITY OF SELAH
 VOLUNTEER PARK (aka DOLORES HUERTA PARK) IMPROVEMENTS EXHIBIT

| City of Selah | | 18-Nov-22 | | | |
|--|--|-----------|----------|--------------|-----------------------|
| Parks and Recreation Department | | | | | |
| PROPOSED SOCCER COMPLEX-Updated November 15, 2022 | | | | | |
| Construct 5 New Soccer Fields, With Parking Lot Improvements, | | | | | |
| 2 Restroom/Concession Buildings, and Picnic Shelter | | | | | |
| Two fields will be lighted, and security lighting will be provided at entrance, parking and concession buildings | | | | | |
| No. | Description | Unit | Quantity | Cost | Total |
| SITE CONSTRUCTION | | | | | |
| Site Clearing, Excavation, Grading | | | | | |
| 1 | Site Clearing | Ac. | 13.6 | \$2,000.00 | \$27,200.00 |
| 2 | Demolition | L.S. | 1 | \$10,000.00 | \$10,000.00 |
| 3 | Erosion/Water Pollution Control | F.A. | 1 | \$20,000.00 | \$20,000.00 |
| Site Clearing, Excavating, Grading Subtotal | | | | | \$57,200.00 |
| Site Utilities | | | | | |
| 4 | New 2" Water Main | L.F. | 700 | \$40.00 | \$28,000.00 |
| 5 | 2" Gate Valve | EA | 5 | \$1,000.00 | \$5,000.00 |
| 6 | 1" Water Service with Meter | EA | 3 | \$2,000.00 | \$6,000.00 |
| 7 | New 4" Sewage Gravity Main | L.F. | 575 | \$50.00 | \$28,750.00 |
| 8 | Septic Tank | EA | 2 | \$5,000.00 | \$10,000.00 |
| 9 | Large On-Site Drainfield | S.F. | 5,250 | \$6.00 | \$31,500.00 |
| 10 | Pressurized Drainfield Dosing Chamber | L.S. | 1 | \$17,000.00 | \$17,000.00 |
| 11 | 6" Irrigation Supply Pipeline | L.F. | 375 | \$50.00 | \$18,750.00 |
| 12 | Irrigation Supply Pump Station | EA | 1 | \$17,000.00 | \$17,000.00 |
| 13 | Extend Primary Power to Restrooms/Concessions | L.F. | 700 | \$75.00 | \$52,500.00 |
| 14 | New Electrical Service | L.S. | 1 | \$35.00 | \$35.00 |
| 15 | Power to Lights, Picnic Shelter & Dosing Chamber | L.F. | 650 | \$25.00 | \$16,250.00 |
| 16 | Communications/Internet Service | L.S. | 1 | \$12,000.00 | \$12,000.00 |
| Site Utilities Subtotal | | | | | \$242,785.00 |
| Access Roads, Parking and Handicap Access | | | | | |
| 17 | Unclassified Excavation | C.Y. | 35,100 | \$15.00 | \$526,500.00 |
| 18 | Crushed Surfacing Base Course | TN | 4,050 | \$35.00 | \$141,750.00 |
| 19 | Asphalt Paving | TN | 2,350 | \$120.00 | \$282,000.00 |
| 20 | Striping for Asphalt | L.F. | 4,975 | \$1.00 | \$4,975.00 |
| 21 | Parking Lot Lights | EA | 18 | \$15,000.00 | \$270,000.00 |
| 22 | Parking Lot Signage | Allow. | 1 | \$5,000.00 | \$5,000.00 |
| 23 | Parking Lot Bumpers | EA | 119 | \$100.00 | \$11,900.00 |
| 24 | 4" Sidewalk at Restroom/Concession & Maint. | S.Y. | 650 | \$70.00 | \$45,500.00 |
| 25 | Catch Basins | EA | 7 | \$2,000.00 | \$14,000.00 |
| 26 | 8" PVC Storm Drain Pipe | L.F. | 60 | \$60.00 | \$3,600.00 |
| 27 | Infiltration System | L.F. | 610 | \$175.00 | \$106,750.00 |
| Access Roads, Parking and Handicap Access Subtotal | | | | | \$1,411,975.00 |
| Athletic Field Construction | | | | | |
| 28 | Unclassified Excavation | C.Y. | 74,600 | \$15.00 | \$1,119,000.00 |
| 29 | Seeded Lawn Installation | S.Y. | 23,250 | \$1.00 | \$23,250.00 |
| 30 | Field Irrigation System | S.F. | 209,000 | \$0.75 | \$156,750.00 |
| 31 | Soccer Field Lighting (2 fields) | L.S. | 1 | \$330,000.00 | \$330,000.00 |
| Athletic Field Subtotal | | | | | \$1,629,000.00 |
| Miscellaneous Amenities | | | | | |
| 32 | Trash Receptacles | EA | 8 | \$700.00 | \$5,600.00 |
| 33 | Park Benches | EA | 4 | \$2,500.00 | \$10,000.00 |
| 34 | Flagpole | EA | 1 | \$5,000.00 | \$5,000.00 |
| 35 | Picnic Tables | EA | 8 | \$3,000.00 | \$24,000.00 |
| 36 | Drinking Fountain (on Restroom Bldg.) | EA | 2 | \$1,000.00 | \$2,000.00 |

| | | | | | |
|-----------|--|--------|---------|--------------|-----------------------|
| 37 | Main Park Sign | Allow. | 1 | \$5,000.00 | \$5,000.00 |
| 38 | Soccer Goals | EA | 10 | \$2,500.00 | \$25,000.00 |
| 39 | Bleachers - 350 Seats Total | L.S. | 1 | \$120,000.00 | \$120,000.00 |
| | Miscellaneous Amenities Subtotal | | | | \$196,600.00 |
| | Other Landscaping/Lawn/Fencing | | | | |
| 40 | Deciduous Trees - 2" Caliper | EA | 30 | \$500.00 | \$15,000.00 |
| 41 | Seeded Lawn Installation | S.Y. | 42,400 | \$0.75 | \$31,800.00 |
| 42 | 6' Chain Link Fence - Perimeter | L.F. | 2,900 | \$18.00 | \$52,200.00 |
| 43 | Entrance Gate | EA | 1 | \$4,000.00 | \$4,000.00 |
| 44 | Lawn Irrigation System | S.F. | 381,600 | \$0.50 | \$190,800.00 |
| | Other Landscaping/Lawn/Fencing Subtotal | | | | \$293,800.00 |
| | BUILDING AND STRUCTURES | | | | |
| 45 | New Restroom/Concession Building | S.F. | 1,200 | \$250.00 | \$300,000.00 |
| 46 | New Restroom/Concession Building | S.F. | 1,200 | \$250.00 | \$300,000.00 |
| 47 | New Storage/Maintenance Building | S.F. | 0 | \$140.00 | \$0.00 |
| 48 | Picnic Shelter | S.F. | 1,325 | \$100.00 | \$132,500.00 |
| | Building and Structures Subtotal | | | | \$732,500.00 |
| | SUMMARY | | | | |
| A. | SITE CONSTRUCTION ONLY | | | | |
| | Site Clearing, Excavating, Grading | | | | \$57,200.00 |
| | Site Utilites | | | | \$242,785.00 |
| | Access Roads, Parking and Handcap Access | | | | \$1,411,975.00 |
| | Athletic Field Construction | | | | \$1,629,000.00 |
| | Miscellaneous Amenities | | | | \$196,600.00 |
| | Other Landscaping/Lawn/Fencing | | | | \$293,800.00 |
| | Subtotal | | | | \$3,831,360.00 |
| | 8% Mob./Admin. | | | | \$306,500.00 |
| | SITE CONSTRUCTION ONLY | | | | \$4,137,860.00 |
| B. | BUILDING AND STRUCTURES | | | | |
| | Building and Structures | | | | \$732,500.00 |
| | Subtotal | | | | \$732,500.00 |
| | 20% OH&P | | | | \$146,500.00 |
| | BUILDING AND STRUCTURES | | | | \$879,000.00 |
| C. | Subtotal: Sitework + Buildings | | | | \$5,016,860.00 |
| | 10% Contingency | | | | \$501,700.00 |
| D. | Subtotal With Contingency | | | | \$5,518,560.00 |
| | State Sales Tax @ 8.2% | | | | \$452,500.00 |
| E. | Subtotal With Sales Tax | | | | \$5,971,060.00 |
| | Design (10%) | | | | \$597,100.00 |
| F. | Subtotal With Design | | | | \$6,568,160.00 |
| | Construction Administration (12%) | | | | \$788,200.00 |
| G. | Subtotal With Construction Administration | | | | \$7,356,360.00 |
| | SEPA Review and Zoning | | | | \$31,825.00 |
| H. | TOTAL PRELIMINARY ESTIMATED COST | | | | \$7,388,185.00 |



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 www.hlacivil.com

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| | | JOB NUMBER: 19006 | DATE: 7-31-19 |
| | | FILE NAMES: Speyers-Soccer.dwg | |
| | | DRAWING: | |
| | | PLAN: | |
| | | PROFILE: | |
| | | DESIGNED BY: | TWP |
| | | ENTERED BY: | AJH |
| REVISION | DATE | | |

CITY OF SELAH
PARKS AND RECREATION
SPEYERS ROAD SOCCER COMPLEX

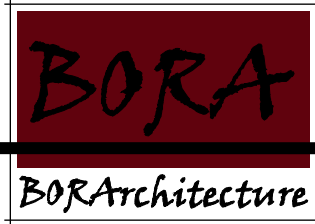
PROPOSED SOCCER COMPLEX

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F.

Building Evaluation and Planning Report - Selah Civic Center



Building Evaluation & Planning Report

Selah Civic Center

216 South 1st. Street
Selah, Washington, 98942

Prepared For:

City of Selah
Task Order No. : 2022-04
HLA Project No.: 22013E

Date of Evaluation:

November 7, 2022



The following definitions are used in this report:

Priority: Indicates a system or component that is significantly insufficient, damaged or unsafe. It is recommended that these systems or components be corrected through repair or replacement. The corrective work should be considered urgent or immediate and may involve appreciable expense.

Safety Issue: Indicates a condition that is unsafe and requires prompt attention and correction. The corrective work may involve significant expense and should be completed as soon as possible.

Repair: Indicates a component or system that is in need of corrective repair or typical maintenance to assure reliable, proper and safe function. This work should be performed in a timely manner but may not require immediate or priority attention.

Improvement: Denotes work that will improve the appearance and/or function of the property and are recommended but are not necessarily required for the continued reasonable function of the property/building.

Monitor: An item that should be watched and/or further investigated to determine needed repairs, if any.

Deferred: Denotes items or components that are approaching their typical life expectancy and require monitoring and will likely require significant repair, if not total replacement, in the not too distant future (*next 5 years or so*).

Limitations

This report is based on visual inspection of the property and building and therefore is limited in scope to those components and assemblies that were readily visible and did not require removal, or cutting, drilling, etc., of permanent elements of the construction, such that materials behind finished surfaces could not be observed, such as but not limited to; removal of gypsum wallboard, electrical panel covers, mechanical equipment covers, vapor barriers, exposed aggregate veneer, etc.

Insulation depths and estimates of R-values of insulation could not be observed and are not included in the scope of the observation or report.

Architectural or Engineering services such as calculation of structural, electrical, or HVAC capacities and adequacy and integrity of these systems are not a part of this observation or report. No equipment was operated or tested. Prior to undertaking any of the improvements or modifications noted in this report, that involve the cutting, drilling, etc. of existing foundations, walls or roofs consult with a competent licensed Architect and Structural Engineer and have them evaluate the existing structure.

The report does not address furnishings and equipment or décor issues. Also wall hung/mounted items were not moved to permit observation of surfaces behind them. Carpeting, window treatments, appliances, paint, wall finishes (paint, wallpaper, etc.) and other finish treatments are not addressed in the observation.

Identification of potentially hazardous materials such as, but not limited to: asbestos, lead, mold, etc. are beyond the scope of this observation and report. These materials can not be positively identified without detailed inspection, sampling and laboratory analysis. Additionally, indoor air quality is not a part of this observation or report.

Observation or testing of electrical panel circuits, concealed components (wiring, etc.), outlets and operation and/or testing of remote control devices, alarms systems, low voltage wiring, and ancillary wiring and data cabling are outside the scope of the observation and report.

Overall General Description (Property and Building)

The subject property and building are located at 216 South 1st Street, Selah, Washington (Assessors Parcel Number: 18143544411). The total site area (parking and building) is approximately 1.92 acres (83,635+/- square feet). Based on available information it appears that the building was operating as a movie theater in 1950 with the last show being shown sometime in 1965. The Assessor's website notes the building as being constructed in 1965. Drawings on file with the City show the addition on the north side of the building, adding the kitchen, dining, front restrooms and the furnace room and also calling for a new reinforced concrete slab in the Main Hall are dated 1968. The drawing titles indicate that the project was for the "Community Center Building". No drawings related to the construction of the southern addition were located. There was no information about the date of the construction of the single story addition on the west end of the building. However, remodel drawings creating the 'Temporary Senior Center', restrooms and storage areas are dated 1995. The Civic Center building sits in the northeast corner of the property with a single row of parking on the north side between the building and Park Ave. The remainder of the site, west and south of the building, are paved parking lots with landscaping.

As a Civic/Community Center the existing building is classified as an A-3 assembly occupancy. The combined area of the first floor of the building is approximately 13,300 square feet, excluding the covered walkway along the north side of the building (See Attachment 1 - Existing 1st Floor Plan). There is a second floor over the current Lobby and office areas. The total area for the second floor is approximately 888 square feet. It is accessed by two stairs that are near the center of the building. The space between these two stairs and the main walls of the building form entry passageways into the large Main Hall. The second floor was, likely, the projection room and storage space for the theater. The 1968 remodel drawings indicate that this upstairs space was, at that time, intended to be turned into a large meeting room that could be divided by an accordion style door running east/west. The space is currently being used primarily as storage for parks and recreation equipment and an office.

The center original section of the building is a tall, two story building constructed of brick with concrete columns and beams. An exposed aggregate stucco coating was applied to the front, or 1st Street elevation. The roof structure is composed of several large barrel vault trusses. There is a large metal canopy that extends along the length of the front elevation. The canopy is supported by several steel rods that tie back to the front wall. The two main entry doors are divided from each other and are both located in an angled recess centered in the elevation. The entry doors open into a Lobby that is formed by the two stairs dividing the Lobby from the large Main Hall. A display case is constructed under the north stair and faces into the Lobby. An opening in the north side of the Lobby leads to a short hallway that provides access to the public restrooms and Dining Room that are located in the north addition. There is a service window on the south end of the Lobby that opens into the Office. The Main Hall is a tall two story space with an acoustic ceiling. There is a large tall stage constructed at the west end of the room. On the east end of the hall is wood shingled over build with a mural in a recess where the movie projector would have been located.

There are single story additions on the north and south sides of the building and on the west end of the building. These additions are constructed of concrete masonry units (CMU). The north and south additions have metal covered shed roofs. The west end addition has a flat roof.

The north addition contains public restrooms, a dining area, commercial kitchen and a utility/storage room. This area is connected to the Lobby via a short hallway providing access to the restrooms and the dining area. There are two large openings between the Dining Room and Main Room.

The south addition contains the Legion Room and a large storage room. The Legion Room is a fairly large long narrow room with storage cabinets on the west end and a small kitchenette and access to Men's and Women's restrooms on the east side of the room. The large storage room is currently being used by the Selah Food Bank. Although the food bank will be moving to another location shortly.

The west addition houses the Apple Room with a small storage room and galley kitchen directly off the north side of the room. Also in the addition is a large hallway (used as storage space), a storage room and set of Men's and Women's restrooms.

The buildings exterior walls (brick, CMU and exposed aggregate) are painted a single color. The metal wall caps, metal roofs and canopy are all a dark green. Located on the north façade, between the top of the wall of the center section and top of the metal roof of the north addition is a large painted mural.

There are several hollow metal doors that access the building and its multiple spaces. The front doors are aluminum storefront doors which allow a small amount of daylight into the Lobby. However there are no windows or skylights to allow natural light into any of the other spaces.

Intent and Scope

The intent of the on-site building evaluation is to assist the City in identifying and evaluating the general condition of the Civic Center; identifying accessibility issues and recommending corrective measures. Other goals include evaluation of current space use and looking at some potential options to enhance the current function and accommodating future growth and operations of the building.

The scope of services for this evaluation and report includes on-site evaluation by BORArchitecture, pllc with visual (non-destructive) observations of the conditions present at the date and time of the on-site visit.

The observation/evaluation and report attempts to address items we believe to be of impact related to the service life and current and future use of the observed building. However, not all issues can or will be identified during this evaluation, and both routine and unexpected repairs should be anticipated. The task order identified the following components/issues to be reviewed in this report:

- | | |
|---|---|
| 1.1 Front Entry Improvements | 1.7 Legion Room |
| 1.1.1 Options for covering of exposed aggregate. | 1.7.1 Access to Lobby, activity hall, and main restrooms. |
| 1.1.2 Review of alternatives for new canopy. | 1.7.2 Warped flooring. |
| 1.1.3 Accessibility and exiting. | 1.7.3 Accordion doors and coordination with Legion Room. |
| 1.2 Roof | 1.8 Accessibility |
| 1.2.1 Identify, determine cause, and propose repairs for existing roof leaks. | 1.8.1 Compliance with City's building department. |
| | 1.8.2 Exits on north side of building. |
| | 1.8.3 Kitchen and sinks. |
| 1.3 Back Restrooms | 1.9 Expansion |
| 1.3.1 Addition of single shower room(s). | 1.9.1 Need and alternatives for expansion. |
| 1.4 Stage | 1.10 Kitchen |
| 1.4.1 Review need and use with staff. | 1.10.1 Ice machine location. |
| 1.4.2 Portable stage. | 1.10.2 Refrigerator and freezer locations. |
| 1.5 Food Bank Room | 1.11 Main Activity Hall |
| 1.5.1 Repurpose space. | 1.11.1 Wood shingle overbuild removal. |
| | 1.11.2 Audio and sound system. |
| 1.6 Apple Room | 1.12 Offices |
| 1.6.1 Access to activity area, function, and use. | 1.12.1 Expansion and function. |
| | 1.12.2 Staircase coordination. |

Description of Site

- ◇ Parking lot paving: Asphalt paving
- ◇ Sidewalk paving: Concrete
- ◇ Curbing: Cast in place concrete
- ◇ Landscaping: Grass and trees
- ◇ Irrigation: Pressurized underground irrigation
- ◇ Drainage: On-site catch basin

Observation / Evaluation

General Observations

The two asphalt drive aisles in the southeast portion site show a good deal of wear, with aggregate becoming visible, large cracks and several areas of alligator cracking. There are also several low spots where there is evidence of ponding. The asphalt parking lot on the west and southwest corner of the site appear to be in good shape.

Evaluation & Recommendations

Paving

- ◇ **Repair** - Repair paving, seal coat & restripe

It is recommended that the multiple areas of alligator cracking (red dashed outlines) be removed and replaced with new asphalt paving. The other cracks should be cleaned and filled with sealant. Uneven surface areas, low spots (orange dashed outlines), etc. should be repaired or removed and new asphalt pavement installed. Once repairs are completed it is recommended that the entire parking lot be seal coated and re-striped.



Alligator cracking and large cracks in parking lot



Uneven surface



Alligator cracking

Observation / Evaluation

Evaluation & Recommendations
Accessibility

Access to the front entry doors from the parking lot is via the public sidewalk along the east/1st Street side of the property. With the location of the accessible parking stalls in the northeast corner of the parking lot it appears that access to the front entry complies with current accessibility standards.

Access to the two exterior doors in the south wall of the Legion Room and the door into the current Food Bank storage room is by a 4' wide raised concrete sidewalk. The top surface of the sidewalk averages about 3-1/2" above the asphalt parking lot. At the east end of the walk at the front wall of the building the sidewalk is around 5" above the asphalt grade. The asphalt ramp at the west end of the sidewalk appears to comply with the accessibility standards for both slope and width. The ramp in front of the exterior door for the Food Bank appears to comply with the slope requirements, but it is not wide enough to meet accessibility standards.

Access to the door at the west side/back of the building enters into a recessed concrete landing. The landing is approximately 15" below the adjacent asphalt parking lot. Three concrete steps, each approximately 5" high, allow access up to grade. This west door is a required means of egress during events where there is an occupant load of 500 people or more. In the building's existing configuration it is not required to be an accessible means of egress.

Doors from the Storage/Utility Room, Kitchen and Dining area on the north side of the building open out to a 3'-7" wide covered concrete walkway. The walkway is roughly 3" below grade at the east/front of the building and roughly 12" below grade on the west end where it terminates into an exterior wall of the building. These doors are not required to be accessible as there are other entry points to these spaces that are accessible, but these elevation difference makes moving materials/food in and out of the Kitchen for events a challenge.

The doors from the Storage/Utility Room and Kitchen are primarily used for moving food and materials in and out of the building. Adding a ramp near these two doors would make the transfer of materials and food much easier and safer as people would no longer need to contend with the retaining wall/change in grade.

Accessibility

- ◇ **Safety Issue** - Accessible ramps at south sidewalk
Add an accessible ramp (36" wide minimum at 1:12 slope, max.) at the east end of the south sidewalk, or install ramps directly inline with each door along the south sidewalk.
- ◇ **Safety Issue** - Accessible ramp at east end of north sidewalk
Add an accessible ramp at the east end of the recessed covered walkway to allow egress.
- ◇ **Improvement** - Accessible ramp west exit door
Replace the stairs at the west door with an accessible ramp (recommend 48" wide, min. at 1:12 slope, max.) to allow for full ingress/egress and easier/safer movement of materials in and out of the building.
- ◇ **Improvement** - Accessible ramp for Kitchen
Excavate, modify the retaining wall and install an accessible ramp (recommend 48" wide minimum) near the Kitchen door and revise the striping to create a designated delivery parking area. See section 1.10 Kitchen for additional detail.

Observation / Evaluation

Evaluation & Recommendations

Emergency Egress

While the ramp at west end of the south sidewalk meets accessibility requirements, as noted previously, it does not provide emergency egress for the two doors exiting from the Legion Room. These doors open to the east which means in an emergency egress event visitors needing to use the west ramp would need to get around the doors, without stepping off the sidewalk, access to the ramp. But the sidewalk is not wide enough to allow this.

The doors from the Storage/Utility Room and Kitchen are not required means of egress from those rooms or the building. They are used primarily for moving food and materials in and out of the building. However the set of double doors near the northeast corner of the Dining Room are a required means of egress for the Dining Room. When these doors are open they block the walkway and prevent egress to the public way to the east.

Based on the Dining Rooms posted occupant load of 62, a second means of egress is required. Exiting through the Kitchen or requiring the operation of the existing accordion doors does not meet the requirements for emergency egress.

Egress

- ◇ **Safety Issue** - Modify swing of East exterior door from Dining
 - Modify the swing of the east leaf of the double doors from Dining so it will open 180-degrees and does not block the exit path to the east.

- ◇ **Safety Issue** - Remove the accordion doors
 - Remove the existing accordion doors to prevent them from being closed and blocking the required second means of egress from the Dining Room.
If separation between the Dining Room and Main Hall is desired then one of the improvement options discussed below could be utilized.

- ◇ **Improvement** - Options
 - Add a 3' wide emergency exit door in the southwest corner of the Dining Room,
 - Add a 3' wide emergency exit door in the northwest corner of the room.
 - Replace the existing accordion doors with folding partitions that have an integrated exit door that is equipped with egress hardware.



Picture of folding partition with egress door in one of the panels

1.1 FRONT ENTRY IMPROVEMENTS

Description of Exterior

- ◇ Wall cladding: CMU, vertical wood siding, exposed aggregate coating
- ◇ Eaves, Soffits & Fascia: Exposed wood framing (painted), metal roofing
- ◇ Exterior Doors & Frames: Aluminum, clear anodized
- ◇ Roof: TPO

Observation / Evaluation

General Observations

The exterior of the building is clean and painted a single earth tone color with standing seam metal roof panels (two shades of green) and metal wall caps and canopy fascia in dark green. The painted vertical wood siding and exposed end portions of the wood beams are showing considerable wear, with fading, chalking, bubbling and peeling of the paint. The exposed aggregate stucco on the front elevation is generally in good condition. However there are several locations where the coating has spalled off or been damaged from impact. These areas are mostly at the outside corners and at the base of the wall, where it meets the pavement.

Evaluation & Recommendations

Exterior Walls

- ◇ **Repair** - Repair north and south beams (Potential safety issue)

The damaged, split ends of the wood beams over the covered walkways on the north and south sides of the building are in need of repair. The cracked/damaged ends could be cleaned, removing rotten and loose material, and the cracks filled with an exterior grade wood filler, then sanded and painted. Or the damaged section could be removed and a new section of wood beam could be spliced in. Metal flashing and beam caps should be installed on any exposed portions of the beams. Alternately the beam could be cut back to be nearly flush to the fascia board.

- ◇ **Repair** - Repair vertical siding panels

The paint on the vertical wood siding is showing wear, with fading, chalking, bubbling and peeling of the paint. The bottom edges of panels are showing signs of weathering with swelling and in some areas are becoming soft. These are signs of water damage. The damage along the bottom edges of the panels may be caused by a lack of flashing between the bottom of the wood panels and the CMU walls behind/below the wood siding. Severely damaged portions of the siding should be removed and replaced. Z-flashing, and possibly a trim element, should be installed along the bottom edges of the of the siding. Remaining panels should have loose paint removed, and both new and existing panels should then be primed and painted.



Weather damaged exposed beam and vertical wood siding



Weather damaged exposed beam and vertical wood siding

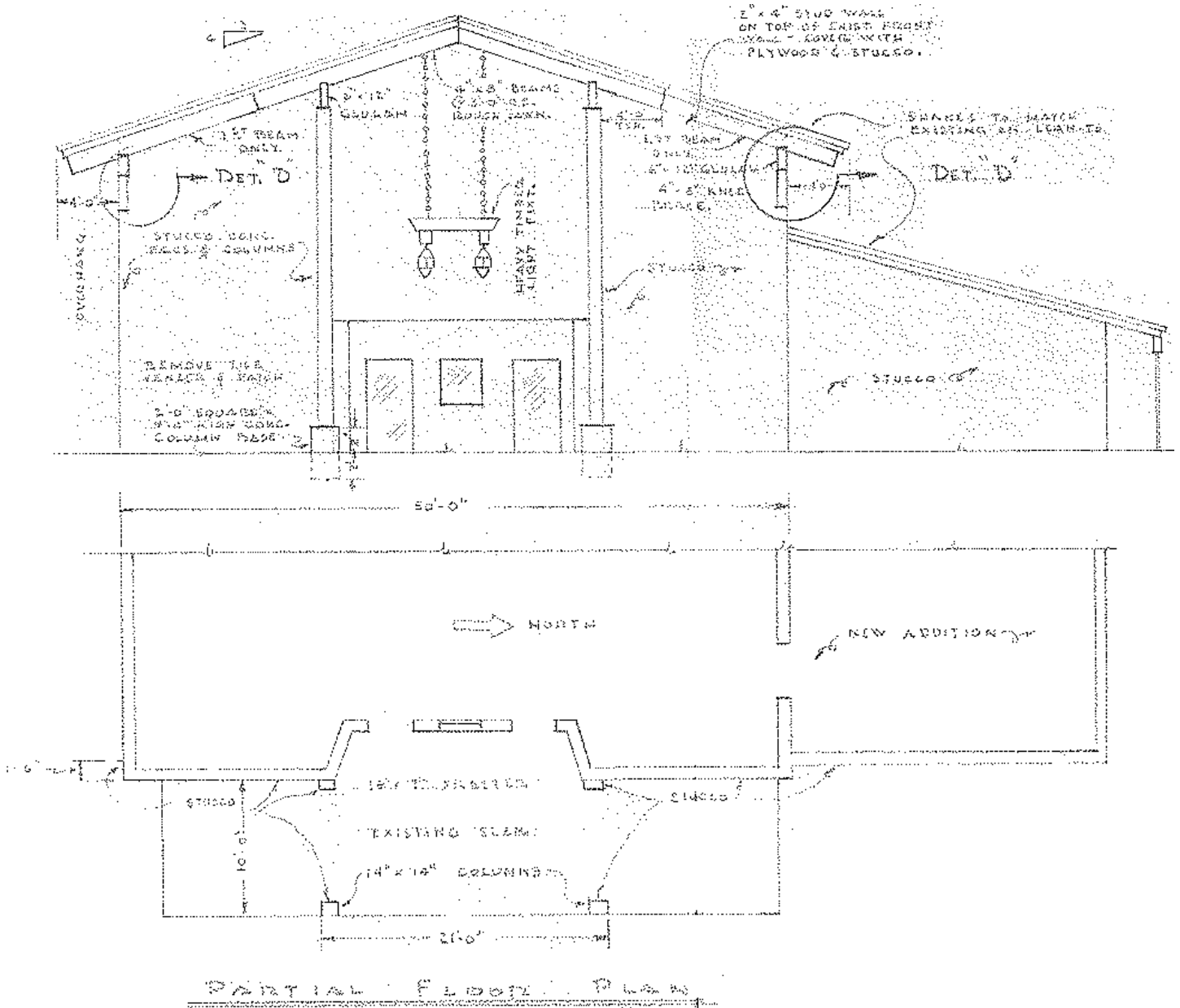
1.1.1 OPTIONS FOR COVERING EXPOSED AGGREGATE

Observation

General Observations

The available record drawings of the building do not indicate any specifics regarding the exposed aggregate coating that covers the entire center section of the front of the building. Looking at some areas of damage to the aggregate coating it appears that the aggregate was troweled into a cementitious plaster, and the plaster was applied to a wire mesh (appears to be a chicken wire product of some kind) that is attached to the building's exterior wall.

In 1972 there was a proposal to cover the front of the building with stucco, add stucco columns and pilasters with supporting wood beams, and add a gable roof that extended out to the inside face of the public sidewalk and back over the existing barrel vault roof. See the East/Front Elevation and Partial Floor Plan from the 1972 design below.



1.1.1 OPTIONS FOR COVERING EXPOSED AGGREGATE

Continued

Recommendations

Recommendations

There are several options for covering the exposed aggregate stucco that is currently on the front elevation. Some of those options include; stucco, metal panels, cement board or wood siding, and stone or brick veneer. A combination of materials, such as a brick veneer wainscot (up to four or five feet in height) with stucco above, could be utilized. A wainscot would provide visual anchor unity to the building helping the north addition, center section, and south addition tie together. Regardless of which new wall finish is selected, it is recommended that a new concrete curb be provided along the bottom of the wall. The curb should be about eight inches tall and extend below the bottom of the adjacent pavement. This curb will protect the new finishes from both moisture and maintenance efforts (such as snow removal/shoveling).

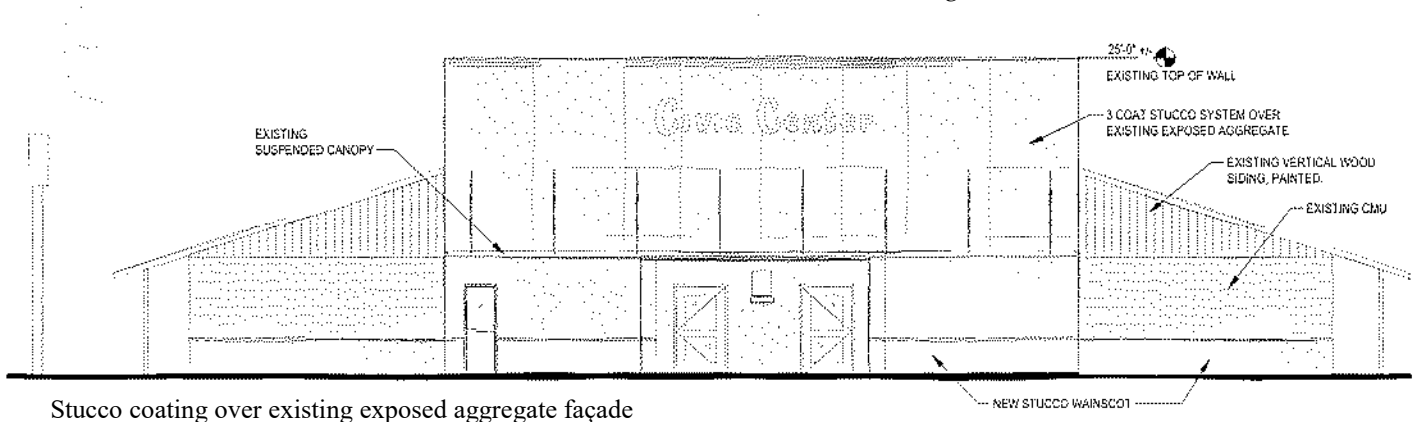
If stucco is selected it is recommended that any loose existing aggregate stucco be removed and that the existing paint coating be removed also. Wire mesh lath should then be attached through the existing aggregate stucco to the brick wall structure. New stucco can then be applied to the wire/wall surface. Control/expansion joints should be installed in the new stucco coating at a greater than normal frequency. As stucco is typically the most economical exterior commercial wall finish the following preliminary options for recovering the front elevation of the building will show stucco and stucco with a masonry veneer wainscot.

Evaluation & Recommendations

◇ **Improvement-** Cover exposed aggregate with new stucco and add stucco wainscot

Prepare the existing exposed aggregate coating by making needed repairs to create a solid/secure base for the new stucco. Install an integral colored 3-coat cementitious stucco over wire mesh installed over and secured to the existing wall.

As an option, to help unify the appearance of the front façade, a stucco wainscot could also be added to the base of both the main center section and side additions of the building.



Stucco coating over existing exposed aggregate façade

1.1.2 ALTERNATIVES FOR NEW CANOPY

Observation / Recommendations

General Observations

A metal canopy extends across the entire face of the tall center section of the existing Civic Center. It is suspended by eight metal pipe tie back rods that are attached to the wall approximately 20' above grade and angle down almost to the front fascia of the canopy. The fascia of the canopy is approximately 6" tall with a corrugated face which is painted a dark green. The ribbed metal decking that forms the roof and ceiling of the canopy. The ceiling surface of the canopy is painted white. Three 8'-long fluorescent light fixtures are mounted to the ceiling surface. There are three spot lights mounted on the roof of the canopy that shine on the Civic Center sign located above the top of the pipe supports. No information was available that indicates the origin of the canopy, but canopies of similar appearance and construction were common at the front entries of movie theaters at the time of its construction.

Recommendations

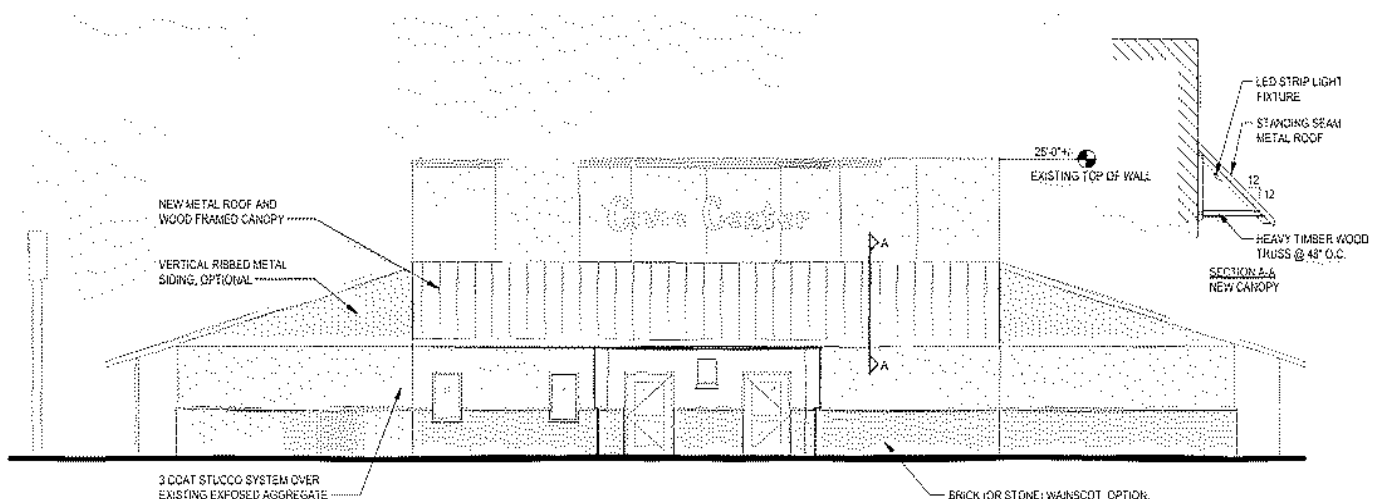
Multiple options exist for updating/replacing the existing canopy. One option is another suspended metal canopy with tieback rods. This could be constructed as either one large canopy similar to the existing canopy, or a single canopy that is centered over the entry doors and extend a foot or so past the recess on either side. This central canopy could also have smaller, perhaps shallower, canopies on either side.

Another option would be to use vinyl or fabric covered awnings in place of the existing suspended metal canopy, similar to the awning that is currently over the double doors into the Apple Room. Fabric awnings can provide a nice pop of color to the building. One issue to be aware of with awnings is that water running off awnings is not collected in gutters so it drips from the outer edges of the awning and can form small shallow puddles which than can freeze into thin patches of ice. It should be noted that even high-quality awning fabrics are warranted for 10-years or less, and so would require more frequent replacement.

Evaluation & Recommendations

◇ Improvement- New Entry Canopy

Remove the existing suspended flat canopy and install a new canopy with a heavy timbe structure and a standing seam meatal roof.

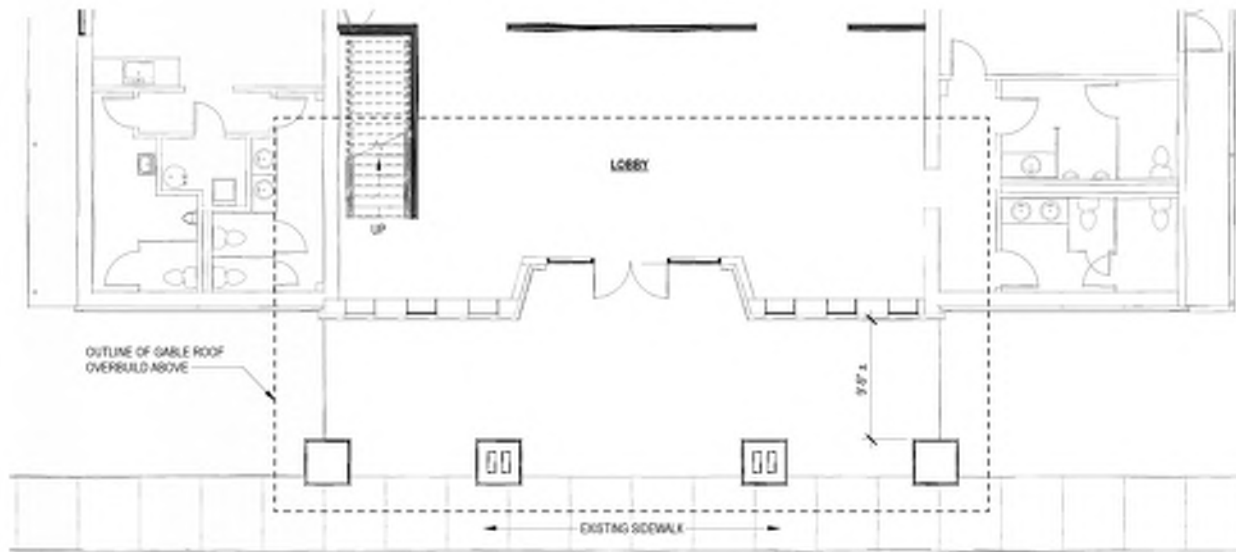


New standing seam metal roof canopy. Elevation also shows optional brick wainscot and stucco wall covering.

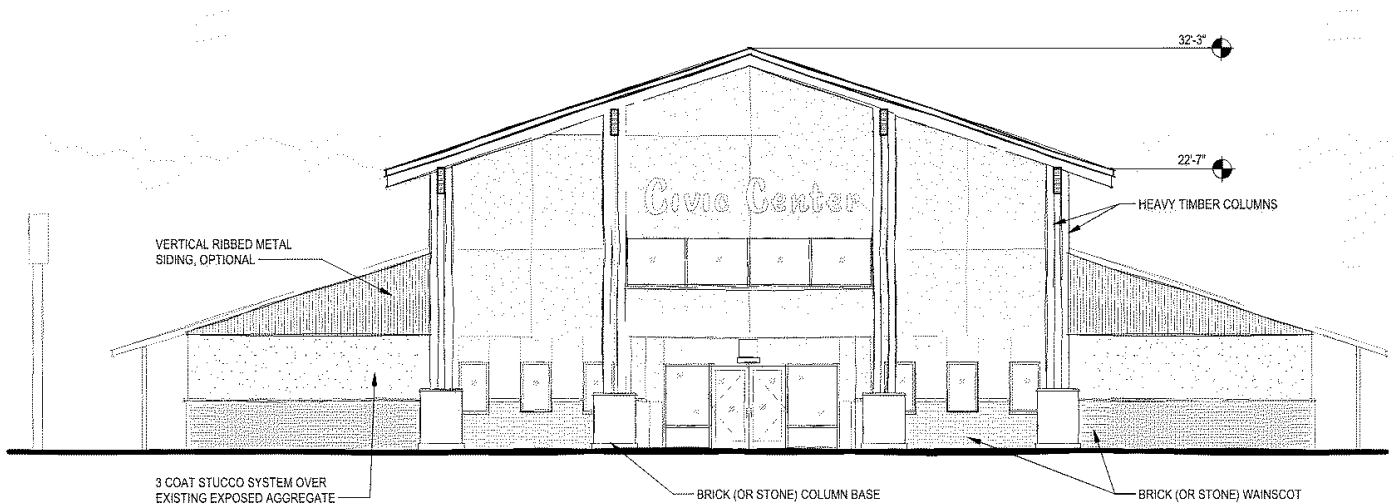
Observation / Recommendations

Recommendations

If, however a large scale remodel of the front elevation, or the entire facility, is undertaken one option that might be explored is a large gable roof overbuild with a deep overhang, similar to what was proposed in 1972. Large heavy timber columns and beams supporting the deep overhang of the new roof could be quite striking and work well with the shed roofs on the north and south wings. With the deep overhang additional canopies or awnings may not be needed.



Partial floor plan of potential front entry remodel with gable roof overbuild



Potential large scale remodel of the Front/East Elevation with columns, beams and a gable roof overbuild

Observation / Recommendations

General Observations

The existing storefront entry doors are split roughly six-feet apart. When constructed as a movie theater this arrangement would have worked well, with the south door, closest to the ticket window serving as the entry and the north door serving as the exit, separating the incoming and outgoing patrons. As the primary entry to the Civic Center this arrangement is functional, although it is a bit unusual.

The south door is equipped with dead bolt lock and a 'D' shaped pull on the exterior of the door. The interior of the door is equipped with egress hardware (crash bar) and there is an sign located above the door.

The north door is equipped with a dead bolt lock on the exterior of door with a simple bent pull and a sign above that reads "Pull". On the interior of the door there is a simple push bar and sign on the strike side of the door frame that reads "Push". There is not an exit sign located above the north door.

Since the two entry/exit doors are close together the building code considers them a single point of exit, requiring both doors to meet egress standards to comply with life safety standards.

Evaluation & Recommendations

North Entry Door

◇ Safety Issue (Options)

Option 1- Unlocked sign:

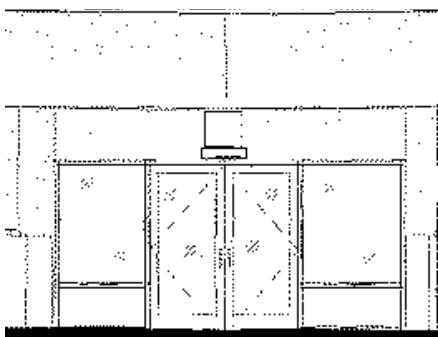
Install a sign adjacent to or above the north entry door that reads "THIS DOOR TO REMAIN UNLOCKED WHEN THE BUILDING IS OCCUPIED". The letters shall be at least 1" high and on contrasting background. Install an Exit sign above the door to match the sign above the south door.

Option 2- New egress hardware on existing door:

Install egress hardware (crash bar) similar to the south door that will unlock the door when the bar is pushed. Install an Exit sign above the door to match the sign above the south door.

Option 3 - New Entry Doors:

Remove the section of wall between the two existing doors and install a new pair of 3'-0" wide storefront doors with sidelight windows on either side to infill the existing opening. In this configuration both doors would be controlled/secured by a single lock. So both doors could be equipped with either crash bars on both leaves or a simple push bar on both leaves with the "THIS DOOR TO REMAIN UNLOCKED..." sign above the door.



New storefront double entry doors

Observation / Recommendations

General Observations

The roof over the original building is composed of barrel vault trusses covered by wood sheathing and single ply membrane roofing. The masonry walls of the original building extend above the perimeter of the roof forming a parapet. The single ply roofing membrane appears to extend up to, or under, the metal cap flashings. The parapet on the north and south walls varies in height along their length from approximately 6" to 16" with the parapet on the west (rear) wall being roughly 16"+ tall. The parapet at the east /front wall extends above the top of the barrel vault. This main roof drains from east to west along the length of the parapet walls to through-wall scuppers located in the northwest and southwest corners of the roof. The two scuppers drain out to large metal conductor heads and then down to roof drains in the corners of the lower west roof. There is evidence, and staff has noted, that during large rain/snow melt events that some water comes in the building runs down the walls from the ceiling.

The roofs of both the north and south additions are shed roofs supported at the top end by the north and south walls of the original building and extend down and out to exposed wood beams and steel columns along the outside edge of the covered walkways along both sides of the building. Both roofs appear to be composed of wood joists and sheathing covered by standing seam metal roofing. Due to repairs from the vehicles hitting the low edge of the roof there are a couple of different shades of the metal roof color along the length of this roof.

The roof of the west, or rear, addition appears to be constructed of shallow curved wood trusses and wood sheathing, covered by a single ply membrane roofing. The trusses have a high center that slopes towards the outside walls and the four corners of the addition. The CMU walls of the this addition form a 2' tall parapet around the roof. These parapet walls are covered by a masonry cap block.

Evaluation & Recommendations

◇ **Priority** - Replace missing concrete block wall caps

Several of the cement block wall caps are missing, loose or damaged along the parapet walls and need to be replaced and repaired to prevent water from entering the wall and causing damage.

◇ **Repair** - New metal wall caps

Metal wall cap flashing should be installed along the top of all masonry parapet walls to prevent water intrusion through the cap blocks. Several of the blocks are showing signs of water sitting on top of or absorbing into the blocks. Which can deteriorate the block and the mortar holding the blocks in place.



Missing masonry cap, weather damaged mortar



Masonry wall cap, install metal wall cap flashing

Observation / Recommendations

Evaluation & Recommendations

◇ **Repair** - Clean roof drains

Roof drains on the west, or lower, roof should be cleaned and have dirt, plants, debris, etc. removed.

◇ **Improvement** - Paint or replace metal roofing

Metal roofing on the south addition should be painted, or replaced, to be a uniform color.

◇ **Improvement** - Install gutters on North and South metal roofs

Gutters and downspouts should be installed along the lengths of the north and south metal roofs to collect and direct water away from doors and the structure. There is evidence of wear on the pavement and rusting at the base of the columns. Lack of gutters is not the sole cause of this damage, but it is a contributing factor.



Lower roof drains should be cleaned



Water staining from roof leaks



Mismatched metal roofing panels, and stepped parapet of the main or high roof

Observation / Recommendations

General Observations

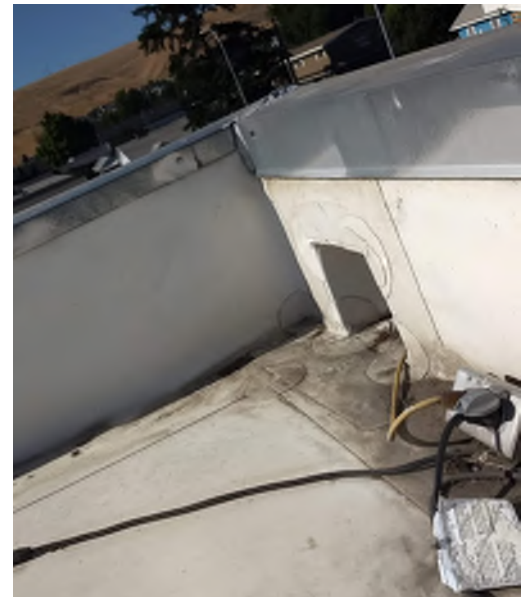
As discussed earlier there are reports and evidence of the roof leaking in the area of the two scuppers at the west/back end of the main roof. The scuppers are roughly 8" wide by 8" tall and lined with membrane covered metal flashing that extends roughly 1" beyond the wall into 12" wide by 15" deep collector heads. The collector heads are drained by 4" diameter piping that extends down to the drains in the corner of the lower roof. Heat tape is run from the main roof through the scuppers and down the pipes to the lower roof drains.

As the roof leaks appear to occur only during significant rain events or snow melt, it appears that the roof leaks are the result of the following factors:

- Due to the shape of the roof there is not adequate room for water to collect around the scuppers and wait to drain.
- The existing scuppers are undersized for the volume of water that needs to be drained during significant events. Based on calculations from the SMACNA Technical Manual (5th edition) the scuppers need to be sized to drain a minimum of 93 gallons per minute. The existing 8"x8" scuppers currently drain approximately 46 gallons per minute, combined.
- The collector heads do not have overflow ports to decrease the pressure on the scuppers during significant or large events.
- Based on the condition of the masonry around the collector heads and drain pipes it appears that water, during large events, leaks out onto the wall and could be entering the building at these points.
- With undersized scuppers and no overflow capability in the collector heads the water likely backs up onto the main roof and gets under the cap flashing and into the parapet wall and roof at these points.



Existing scupper



Existing scupper with outlet/conduit that needs to be relocated out of the flow line

Evaluation & Recommendations

- ◇ **Priority** - Modify or replace existing collector heads (applies if the following Improvement/Priority is not undertaken soon)

Modify the existing collector heads so top of the head is no greater than 1" above the bottom of the scupper to allow water to overflow and reduce the amount of water being held on the roof and repair the drain piping. Or, replace the existing collector heads with larger heads, around 16" in width, and equipped with overflow ports. The drain piping should also be replaced so that the joint between the collector heads and the pipe are secure and water tight.

- ◇ **Improvement / Priority** - Enlarge scuppers and new conductor heads

Increase the width of the two roof scuppers to be 16" wide minimum and patch back single ply membrane roofing. Remove existing collector heads and draining piping and install new collector heads.

New collector heads:

- ◆ 18" to 20" wide, to accommodate the new wider scuppers
- ◆ Need to be equipped with an overflow opening, 1" maximum above the bottom of the scupper.

- ◇ **Repair** - Repair brick

Repair cracked concrete and damaged masonry and mortar around the collector heads and drain piping.

- ◇ **Safety Issue** - Relocate electrical conduit

The conduit and outlet that power the heat tape in the drains is resting on the roofing in the flow line between the two roof scuppers. The conduit and outlet box should both be attached to the inside face of the parapet wall near the top of the parapet or secured to the top of the metal wall cap flashing.



Damaged masonry and grout at drain piping



Collector head and piping

Observation / Recommendations

General Observations

As noted in the Overall General Description it is not clear when the single story west addition was originally constructed. However remodel drawings from 1995 that created the Apple Room indicate that the Women's and Men's restrooms in this addition were existing and that the walls forming the restrooms, and janitors closet are CMU. The finishes in the restrooms include plastic laminate wainscot with metal corner trim and a painted wood trim as the cap. The floors are tile with no coved tile or rubber base at the floor/wall transition. The restrooms stalls are painted steel. The ceilings are painted gypsum board with surface mounted light fixtures. Overall the fixtures, accessories, and finishes are in good shape.

There are a few items related to accessibility that need to be addressed in these restrooms, but this will be covered in the Accessibility section of the report.

Evaluation & Recommendations

◇ Deferred

Women's Restroom - The edges and top surface of the plastic laminate countertop are showing signs of wear and light staining.

◇ Deferred

Women's Restroom - The sealant/grout along the wall/floor joint is starting to crack and show signs of wear in several locations.

◇ Deferred

Men's Restroom - The edges and top surface of the plastic laminate countertop are showing signs of wear and light staining.

◇ Deferred

Men's Restroom - The sealant/grout along the wall/floor joint is starting to crack and show signs of wear in several locations.

◇ Improvement - Privacy panels between urinals

Men's Restroom - Add privacy dividers between the urinals. This may require that the location of some of the urinals be adjusted to allow sufficient width to use the urinals.

- ◆ ANSI accessibility guidelines require 30" clear between privacy panels at urinals, with the panels being not longer than 24". This width would be required at one of the urinals.
- ◆ Minimum recommended width of stalls at urinals that are not required to be accessible is 24".



Wear and staining on Men's vanity top



Urinals, recommend adding privacy screens

1.3.1 ADDITION OF SINGLE SHOWER ROOM(S)

Observation / Recommendations

General Observations

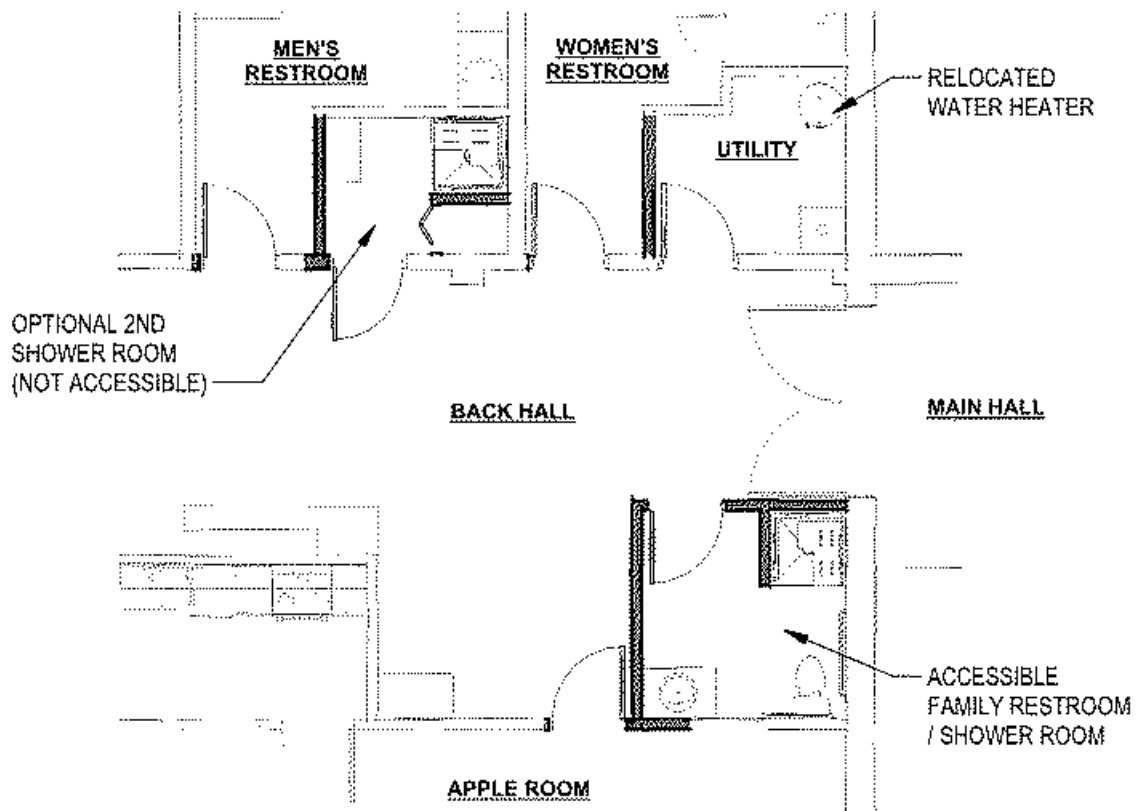
In a previous meeting, staff expressed a desire to add a shower stall or two to allow the Center to be utilized as an emergency shelter. This modification was noted as being highly important.

Neither of the existing storage/janitor rooms near the northwest restrooms have enough space to accommodate a fully accessible shower room, particularly when considering the modifications needed to make the existing restroom doors accessible. A preliminary analysis of plumbing fixture counts indicate that no toilets can be eliminated without putting the building out of compliance with the building code (the building is, in fact, short one women's toilet), so converting the accessible toilet stalls in the northwest restrooms into shower stalls is also not an option.

Evaluation & Recommendations

◇ Improvement

- ◆ Add an accessible family/unisex restroom with a shower stall in the southeast corner of the alcove in the back hallway. This also solves the issue of being one toilet short in the total facility plumbing fixture counts. Providing a single-occupant unisex shower room also helps meet FEMA Shelter Field Guide requirement that adequate privacy be provided to allow a shower to be used by a person of any gender identity. This layout would require the door from the Apple Room be reduced to a single door.
- ◆ So long as an accessible shower is provided, additional showers would not be required to be accessible. If a second shower is desired, the storage room south of the Men's Restroom could be converted into an additional shower room.



Accessible unisex restroom/shower room and option 2nd non-accessible shower room

Observation / Recommendations

General Observations

There is a stage located at the center of the west end of the Main Hall. The stage is approximately 3' tall, 11'-6" deep and 24' wide. There are metal stairs with a handrail on each side of the stage. Pull-out storage under the stage is accessed through the front of the stage. It is reported by some City staff that the stage is used when presentations, auctions or speakers are part of large events. Civic Center staff indicated that for the vast majority of the time the stage is not used, and it was noted as taking up useful floor space for most events. Civic Center staff indicated that their preference is to have this existing permanent stage removed. If groups then need a stage they can rent one from a vendor. The vendor would then deliver, set up and remove the temporary stage and accessories. This eliminates the need to store the portable stage and accessories, like the stairs and skirting.

The International Building Code (IBC) 2018 indicates that permanent stages, or raised platforms, of this size and height must be constructed with a floor that is either constructed with a 1-hour fire rating employing at least 1-layer of 5/8" Type X gypsum board on the underside of the floor structure (separating the storage space from the stage floor) or of non-combustible materials. Additionally space under the stage floor can only be used for the running of electrical/data wiring, plumbing and/or the storage of tables and chairs (only), otherwise a fire sprinkler system will be required in the space under the stage.

Evaluation & Recommendations

◇ **Safety Issue** - Safety Upgrades *(If the existing stage remains)*

- ◆ Remove all combustible storage items from under the stage.
- ◆ Confirm the existing stage floor is constructed to meet 1-hour fire rating. If not remodel the floor assembly to meet the 1-hour fire rating with at least 1-layer of 5/8" Type 'X' gypsum board installed between the floor assembly and the storage spaces.
- ◆ Sign all storage spaces under the stage "For Tables and Chairs Only".

◇ **Improvement** - Remove existing stage

Remove the existing stage and have the event organizers rent stages, stairs, skirting, etc. from rental companies who will deliver, set up and tear down the stage. One other added advantage to this approach is that the rented stage can be sized to fit the event.

(This Architect has used rented temporary stages for several large gatherings in spaces similar to the Main Hall without any issues regarding safety, delivery, setup, and takedown).



Portable stage, 8' long x 4' deep x 16" tall



Temporary stage with stairs and skirting, 16' long x 8' deep x 24" tall

Observation / Recommendations

General Observations

The large room currently serving as the Selah Food Bank storage and distribution room is located at the west end of the south addition, behind (west of) the Legion Room. A set of large double doors provides access between this room and the Main Hall. A single 3' wide door provides access from the south exterior. In the near future the food bank will no longer need the use of this space. Several options were discussed for repurposing this room.

Evaluation & Recommendations

◇ **Improvement** (*Immediate/Short term – Option 1*)

- ◆ Use this space as storage for the table and chairs so they are closer to the point of use.
- ◆ Move the materials currently stored upstairs into Storage Room #2 where the tables and chairs are currently located (northwest corner of the building).

◇ **Improvement** (*Immediate/Short term – Option 2*)

- ◆ Move the materials stored upstairs into this space. It appears that most of what is stored upstairs is Parks and Rec. sports equipment. This room has an advantage of having an exterior door which means equipment could be loaded/unloaded without needing to access the entire building.

◇ **Improvement**

Relocate the Civic Center offices into the Food Bank Room. This will be discussed in further detail in Section 1.12.1 Offices.



Second floor - Storage

Observation / Recommendations

General Observations

The Apple Room were constructed in 1995-96, according to the available drawings from the City. The Apple room is approximately 1,330 square feet with a noted occupant load of 75. The adjacent small galley kitchen and storage room are accessed from this room through doors in the north wall. A pair of double doors in the north wall, near the northeast corner of the room, leads out to a hallway and the Men's and Women's restrooms. A large set of double doors in the east wall opens out to the Main Hall. Having restrooms nearby has been a real asset, but raving them across the hallway means that when someone rents the Apple Room they have access to more of the facility. It was also discussed that if there were restrooms off of the Apple Room that it could be rented out without allowing access to any other part of the facility. Staff noted that additional access between this room and the Main Hall. This would also help make the room more functional/rentable.

Evaluation & Recommendations

◇ Improvement - Folding partition

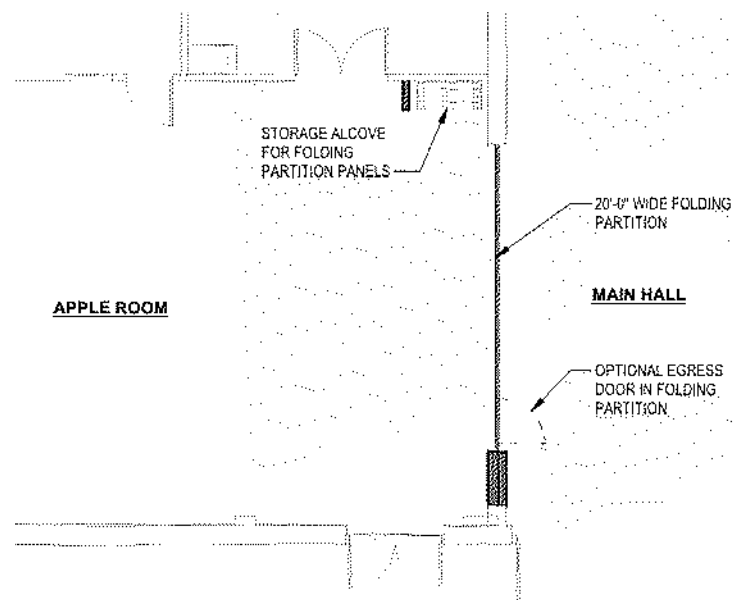
If the existing stage and double doors in the west wall are removed the existing opening could be enlarged to 18'- 20', or more, and a folding/sliding partition could be installed in this larger opening. With the folding partition fully open nearly the entire Apple Room would be open to the Main Hall. Folding, or sliding partitions may; be partially or fully opened, provide acoustical separation, be equipped with glazing in all or some of the panels, and be equipped with hinged/swinging doors in some of the panels to provide controlled access and emergency egress. This option would require some structural work, which would likely include solid grouting of the existing masonry and a new beam with columns and footings.

◇ Improvement - New exterior entry doors

Recommend replacing the existing pair of exterior solid hollow metal entry doors with a new pair of hollow metal doors with half-light vision panels, or with glass and aluminum storefront entry doors. This would bring some natural light into the space, making it feel more open and welcoming and would also help indicate these doors as the entry to the room from the exterior. Adding a window or two in the west and south walls would also bring natural light into the space and building.



Example of a folding partition



Folding partition at east wall of Apple Room

Observation / Recommendations

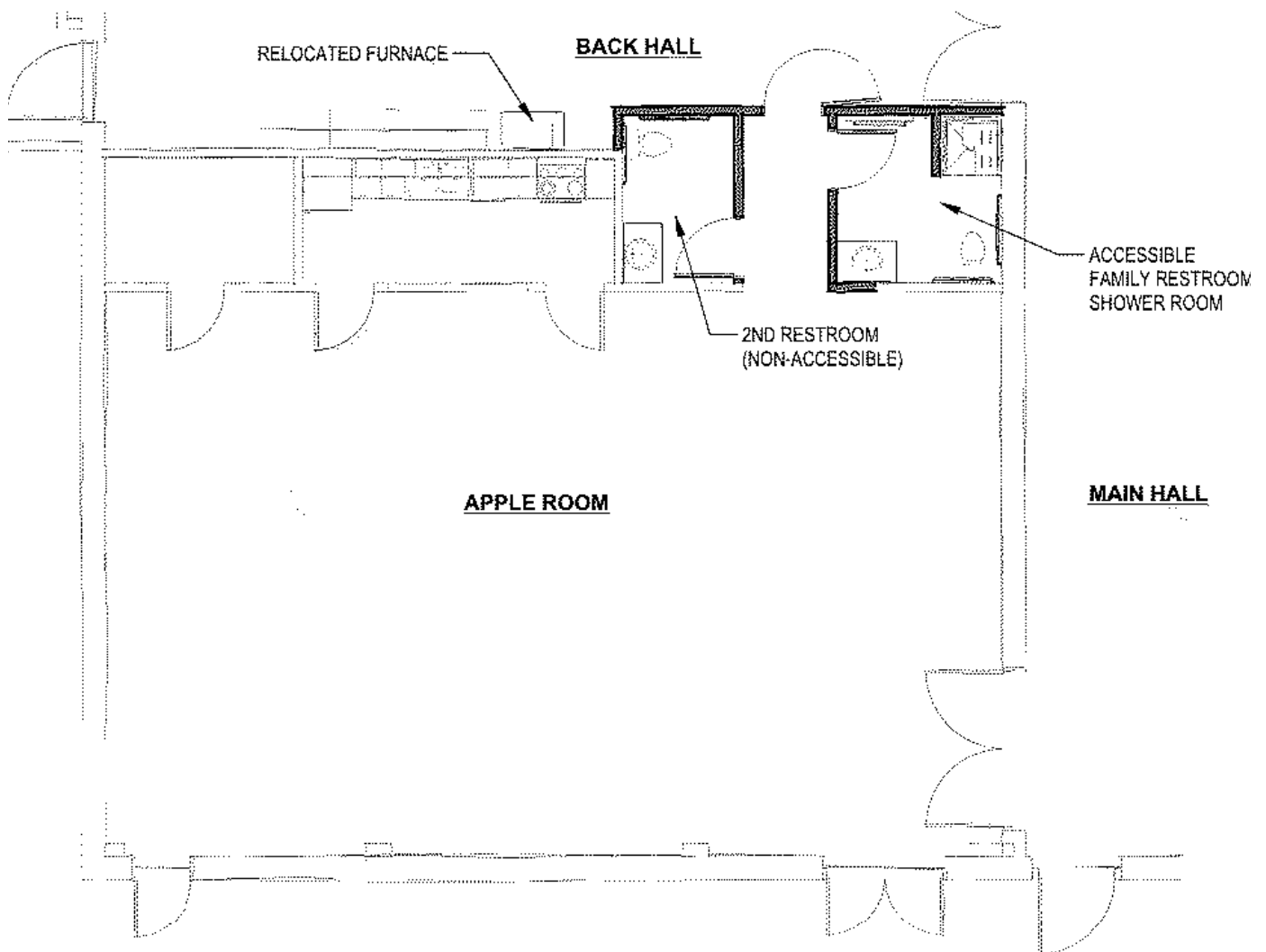
Evaluation & Recommendations

◇ **Improvement** - Add restroom(s)

Remodel the large alcove in the back hallway to create 2 small unisex restrooms with a small hallway between them that is open only from the Apple Room. The sketch below shows 1 accessible restroom with a shower (to help meet requirements for the building to be used as an emergency shelter) and one smaller non-accessible restroom. So long as both restrooms are unisex and one of them is accessible, the 2nd restroom does not need to be accessible. This work would require relocating the existing and modifying the cabinets on the south side of the back hallway.

◇ **Improvement** - Flooring in back hallway

Recommend staining the concrete floor of the back hallway to match the floor in the Main Hall. Or if the Main Hall receives new flooring (VCT, LVT, rubber, etc.) that flooring should be extended into the back hallway. This will make accessing these restrooms from the Main Hall, and the Apple Room feel more natural, like a space open to the general public as opposed to a staff-only back room.



Accessible restroom/shower room and 2nd non-accessible restroom

Observation / Recommendations

General Observations

The American Legion Room, restrooms and the large storage room (currently serving as the Selah Food Bank) are located in the single story addition to the south of the main building. The Legion Room is approximately 880 square feet with a noted occupant load of 45. Access to the room is provided by two 3' wide doors in the south exterior wall and pair of 3' wide doors in the north wall, near the northeast corner of the room. These double doors open directly to the Main Hall. A bank of full height cabinets spans the length of the west wall of the room. There is a projector screen recessed in the middle of this casework. An opening in the middle of the east wall opens to a small hallway that leads to a Janitor closet and Men's and Women's restrooms. South of the opening in the east wall there is a small length of 'kitchenette' base cabinets with a porcelain bar sink and a set of upper cabinets above. With a set of dedicated restrooms the Legion Room can be rented out without patrons needing to access the remainder of the building. Staff did note that increasing the visibility and access between the Legion Room and the Main Hall would be very beneficial, particularly for those events that rent the entire facility.

1.7.1 - During the initial meeting with City and Civic Center Staff there was discussion about the possibility of remodeling one or both of the existing restrooms to expand the existing office and create a private office, small meeting/work room and perhaps a staff restroom. Part of this remodel would create a new hallway (where the existing hallway is now) that would provide access to the Lobby and existing north restrooms. After subsequent meetings and discussions this concept was no longer considered.

Evaluation & Recommendations

◇ Repair / Safety Issue - 1.7.2 - Repair/replace flooring

Several planks of the existing laminated flooring in the room, mostly near the double doors in the north wall and the hallway opening and kitchenette casework, shows signs of warping/buckling with cupping in the middle of the planks. In the addition some of the long edges of the planks are pulling apart.

Most of the time this type of damage is caused by moisture getting into the flooring system. The following are potential ways this could be occurring:

- ◆ A plumbing leak that is getting onto concrete slab surface and running under the flooring.
- ◆ Water vapor is coming up through the slab. This could be the result of a rise in the ground water table (possibly seasonal) or a leak in a water or drain line that runs under the slab in this general area of the building.
- ◆ The use of cleaning chemicals or procedures not recommended or approved by the product manufacturer. The potential issues could include strong anti-viral cleaners and very hot water or steam cleaning.

Warped/buckled planks or planks that have uneven ends/edges or where gaps are 1/4" or larger should be removed and replaced so the floor surface is smooth and even to remove trip/fall hazards.



Pictures of warped floor and gaps

Evaluation & Recommendations

◇ Improvement - 1.7.3 - New double doors to Main Hall

To improve access between the Legion Room and the Main Hall, recommend replacing the existing solid hollow metal doors with new hollow metal doors with half-light vision panels, or with glass and aluminum storefront entry doors. A matched set of new double doors could also be added near the west end of the Legion Room as well. The door frames for both sets of these new doors should be located in wall cavity such that the door panels can open 180 degrees or flat against the wall of the Main Hall. Adding the new door opening would require some structural work. Such as steel lintels and jambs and solid grouting of the existing masonry walls (at a minimum).

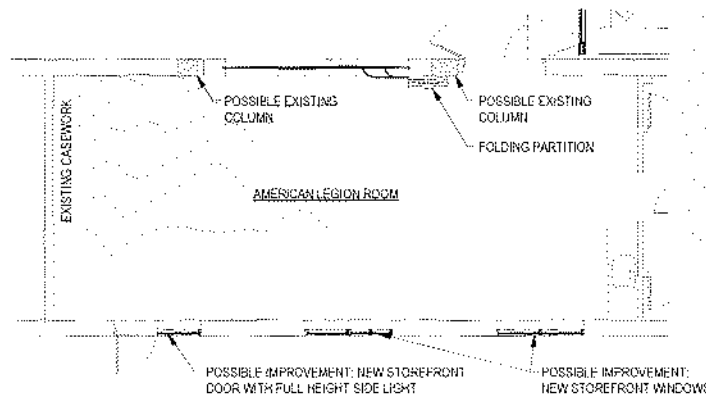
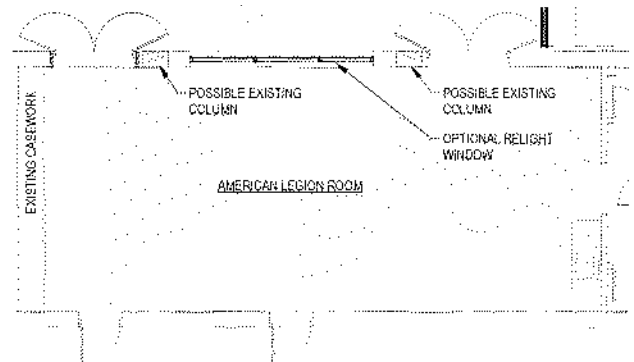
◇ Improvement - 1.7.3 - Folding partition to Main Hall

To fully maximize access between the Legion Room and the Main Hall, the Architect recommends removing the existing pair of double doors near the northeast corner of the room and increasing the width of this opening to 10'- 12', going to the west. Then move west 8'-10' and create a second opening in the north wall to match the previous new opening. Install folding partitions in both of these new larger openings. The east and west end panels of east and west partition should be equipped with swinging doors. This option will require structural work, which would likely include solid grouting of the existing masonry wall, and beams and steel columns at each end of the openings with new concrete footings.

Creating a single wide opening in the north wall, will greatly increase the amount of structural work and cost, as this wall is a primary bearing wall for the roof over the Main Hall.

◇ Improvement - New storefront entry

Replacing one of the existing exterior solid doors, located in the south wall, with a hollow metal door with a half-light vision panel, or with glass and aluminum storefront entry door, would help indicate which door is the entry into the space. Adding a full height window to the side of the new door would also help with identification and bring natural light into the space. Adding a storefront window or two into the south wall is also recommended.



Sample picture of folding partition

Double doors (top) and folding partition (bottom)

Observation / Recommendations

General Observations

The City of Selah Building Inspector recently performed an accessibility and life safety review of the building. A scan of that review is shown below.

ADA

| | Severity |
|--|----------|
| 1. Toilet in back ADA men's restroom needs to be moved to allow wheelchair access to stall. (1) | High |
| 2. Handwashing sink in kitchen is in accessible, too high. (needs to be 34in.) and needs trap cover. (2) | High |
| 3. Doorway to kitchen is 30in. And needs to be a minimum of 32in. (3) | High |
| 4. ADA toilets in back ADA restrooms only have 1 grab bar and needs 3 grab bars. | Moderate |
| 5. ADA Urinal of back ADA men's restroom needs to be lowered to 17in. (4) | Moderate |
| 6. Entry area restrooms need ADA signage | Low |
| 7. The vertical grab bars in the entry area restrooms need to be raised. | Low |
| 8. The trap cover for the sink drain in the entry area men's restroom needs to be fixed. | Low |
| 9. Need to add trap and supply covers to all sink drains in back restrooms and hand washing sink in kitchen. (6 total of each) | Low |
| 10. The only drinking fountain in building is too high for ADA. Either lower the drinking fountain or add an ADA height DF. | Low |
| 11. North and West exterior doors need door pressure adjusted. | Low |
| 12. ADA parking stall signs need to be raised. | Low |

Life Safety

| | |
|--|------|
| 1. Front door needs panic hardware. | High |
| 2. Legion Room exit door needs panic hardware (currently deadbolted) | High |

Other

| | |
|---|----------|
| 1. Back men's ADA restroom floor drain top is damaged. | Low |
| 2. Kitchen prep sinks need to drain through an indirect waste system. (5) | Moderate |
| 3. There is no grease interceptor for the kitchen. | High |
| 4. Stair tread depth needs to be 11in. Minimum. (currently only 10in.) | Low |
| 5. Handrails up the stairs need to terminate back to the walls | Low |

Other than an expansion of ADA Item 2, Handwashing sink in the Kitchen, this Architect noted the following additional issues:

1.8 - The entry doors and hallways into the Men's and Women's back restrooms do not provide required clearances to meet accessibility standards (latch side clearance), See Section 1.3.1.

1.8.2 - Accessibility and exiting issues related to the north side of the building are addressed in the Site section of this report.

1.8.3 - Handwashing Sink - If the blast chiller currently located in front of the hand washing sink is relocated it could stay in its current location and be lowered to meet ADA accessibility requirements.

(Estimated costs for adjusting the height of the handwashing sink are included in item 1.8 - Accessibility and Life Safety updates in the Probable Costs for Repairs, Improvements & Expansions section)

- ◆ Additional discussion of ADA Item #2 regarding the handwashing sink in the Kitchen will be covered in Section 1.10 Kitchen.

Observation / Recommendations

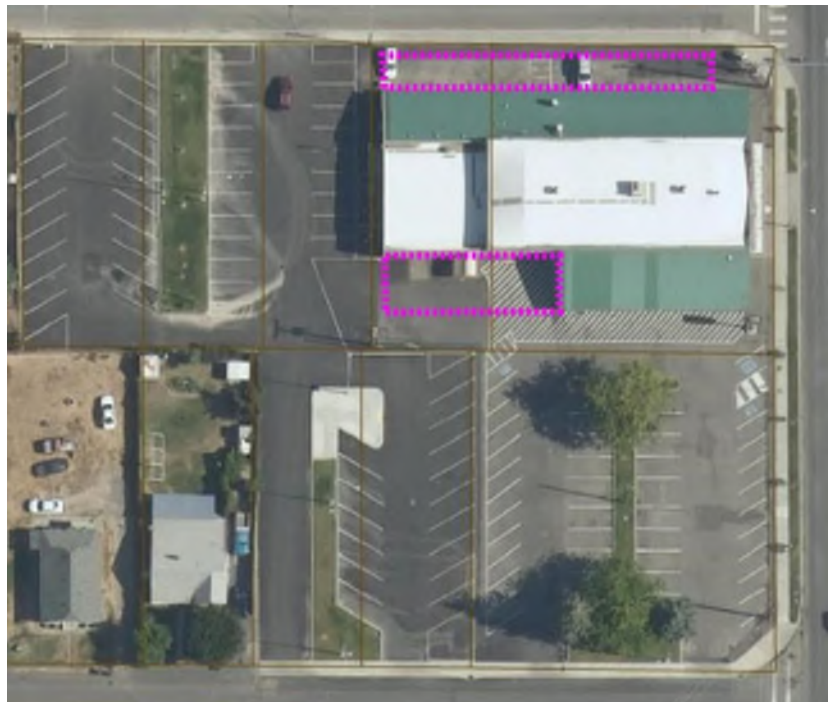
General Observations

In a meeting with the Civic Center staff there were discussions regarding the general need for an overall expansion of the building. Staff noted that if the Apple and Legion Rooms had the potential to open up more to the Main Hall and a good sized 'conference room' style space could be created, such as by remodeling the upstairs into a large conference room (as mentioned in SECTION 1.12.2) the center should be able to meet the needs of the community for the foreseeable future (10-20 years, assuming projected growth of the community).

If, as discussed in Section 1.5 FOOD BANK, page 20, the existing stairs are removed and the existing office is removed the resulting space and the existing Lobby could then become part of the Main Hall. A few columns may need to be added where the stairs were to help support the second floor, but the resulting space, (approximately 1,000 square feet), could largely be open to the Main Hall.

If additional space is still needed the most practical location of an expansion is to extend the south edition to the west. Doing this could create another 1,600 square feet of space. This could be used as a large expansion of the Apple Room, approximately 900 square feet. Or a couple of large spaces roughly the size of the Legion Room. If the existing Food Bank room is converted to the new offices and a new entry/Lobby is created to the west of the new offices, as discussed in Section 1.5 FOOD BANK, then the remainder of the expansion space could be used to create another large meeting room, a couple of medium sized, 10-15 person, meeting/conference rooms, or several smaller meeting rooms sized for 3-5 persons. These smaller rooms could be utilized for community services, mentoring programs, tax filing assistance, mental health/counseling services, etc. This expansion would require the relocation of the existing storm drain inlet that is located near the southwest corner of the building.

Expansion to the north is possible, but given the difference in grade elevations at the Kitchen and Dining, it would require room for ramps and/or stairs for egress. In this instance, the amount of useable space created may not justify the cost. There is limited space on the west end of the building to expand without reducing the number of parking stalls. Or relocating the existing electrical gear and meter. Expanding north or west would also remove several parking stalls, which could present a challenge to meeting the amount of parking required for the facility, particularly if the building is growing in size and parking stalls are being lost.



Purple dashed lines indicate areas of potential expansion.

Observation / Recommendations

General Observations

The Civic Center Kitchen is equipped as a commercial kitchen with commercial grade appliances: range top with griddle, stacked ovens and a warmer all under a commercial cooking hood (complete with integral fire sprinklers) along the north wall. A stainless steel hand sink, and a stainless steel countertop with integral 3-compartment sink and a prewash sink along with a commercial dishwasher are located along the west wall. Along the south wall are a 2-door and 1-door reach-in stainless steel refrigerators and plastic laminate base cabinets and countertop with upper cabinets. The west wall houses plastic laminate base cabinets with a plastic laminate countertop with a service opening (out to the Dining Room) above the countertop. As noted in the City's ADA review, the door into the Kitchen from the Dining Room only provides a 30" clear opening. The minimum required clear opening is 32". Additionally, the full height storage cabinet just inside the door blocks the required clearances on the pull side of the door. The use of the Dining and Kitchen come with rental of the Main Hall.

In a meeting with the staff, the following items were noted as being desired improvements to make the Kitchen more usable and the facility more rentable:

- ◆ Move the refrigerator that is currently in the Dining Room out of the Dining Room.
- ◆ More refrigerator/freezer space is needed for both People-to-People and for those renting the facility.
- ◆ Move reach-in coolers/freezers out of the Kitchen to a central location that has an outside door.
 - This could eliminate cross traffic between those who are prepping and cooking in the Kitchen and those who need to load/unload the coolers/freezers.
 - This could also allow for prep space or storage space inside the Kitchen.
 - The central location/grouping of the coolers/freezers would be simpler to secure and monitor.
- ◆ A ramp that allows more direct access to the kitchen and adjacent storage room is desired to make transferring materials to/from the kitchen easier and safer.

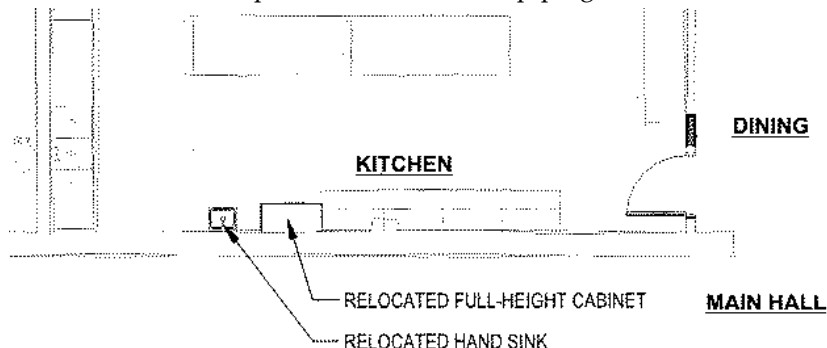
Evaluation & Recommendations

◇ Priority - New door between Dining and Kitchen

To provide the required access clearances at the door from the Dining Room into the Kitchen, the following changes are needed: Remove the existing door and frame and enlarge the opening to accept a 3'-0" wide door and frame; Remove at least 1'-0" from the south end of the existing service counter located along the west wall of the kitchen. This work will also require reducing the width of the service opening, relocating the light switch, power outlet, fire extinguishers, and the emergency shut off for the cooking equipment.

◇ Priority - Correct accessibility issues at handwash sink

To provide the required clearances at the hand wash sink, one option may be to remove a portion of the existing casework west of the existing pilaster, move the refrigerator and blast freezer east to the pilaster and adjust the height of the handwash sink so that the top of the lip of the sink is at a height of 34" and install the required covers over the piping.



Partial plan of the Kitchen south wall

1.10.1&.2 ICE MACHINE LOCATION

Observation / Recommendations

General Observations

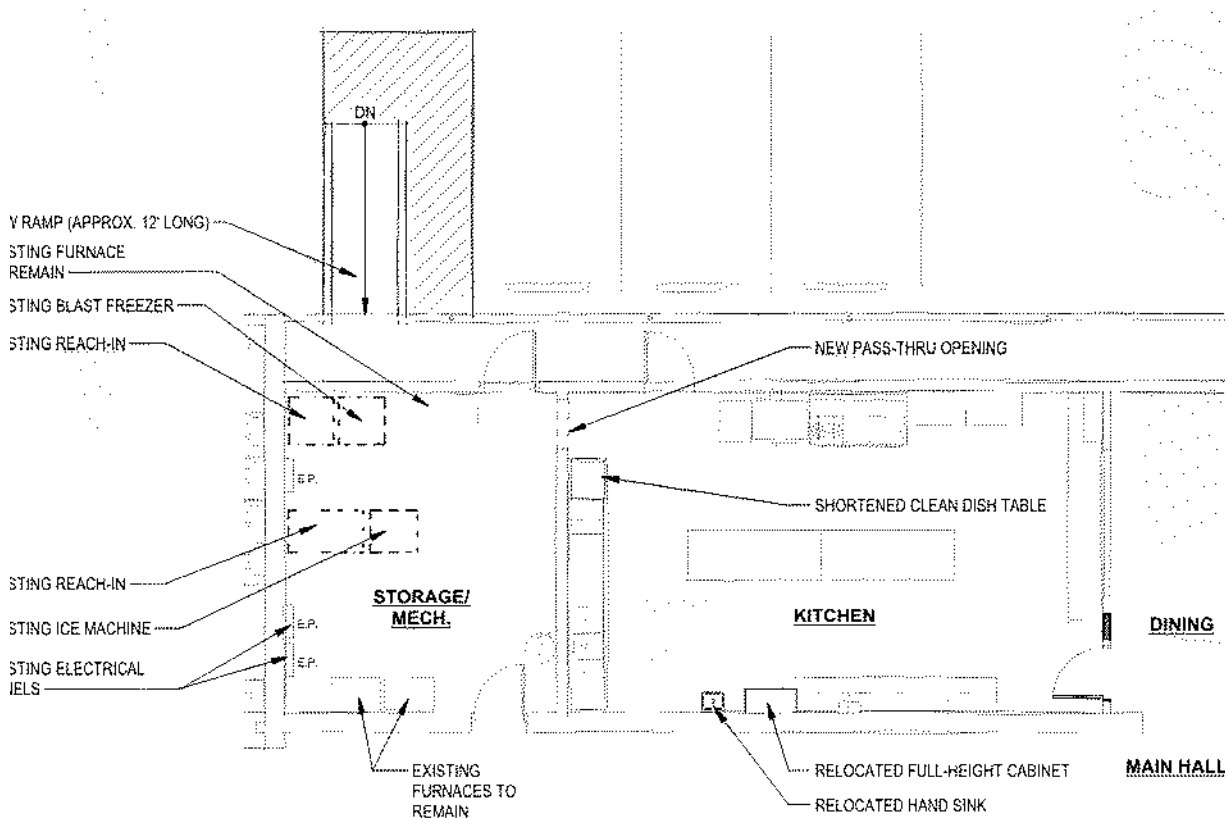
As noted in Section 1.10 Kitchen, creating a central location outside of the Kitchen for the ice machine, coolers, and freezers is preferred. This would greatly reduce the number of people who need to enter the Kitchen when food preparation is under way for an event. It would also allow patrons who have rented the facility to come and load the cooler/freezers prior to an event without getting in the way of People to People and their meal preparation. The ice machine is currently located in the Storage room directly west of the Kitchen. This room also contains: furnaces, storage shelving and cabinets, water heater and electrical panels.

Evaluation & Recommendations

◇ Improvement - Ice machine and fridge/freezer relocation

An option for creating the desired central location for the fridges/freezers, coolers, and ice machine is:

- ◆ Move the handwash sink to the south wall, as indicated previously in 1.10 Kitchen.
- ◆ Move the 3-compartment sink and dishwasher station south into the southwest corner and remove 16" + from the north end of the drying counter.
- ◆ This will allow for an opening to be created between the Kitchen and adjacent Storage Room.
- ◆ Relocate the coolers/freezers from both the Kitchen and Dining rooms to the north wall of the Storage Room. They could be set up in a galley configuration, with a 4' wide aisle, starting in the northwest corner of the room. Additional coolers/freezers could be added.
- ◆ The ice machine is currently located in this room.
- ◆ A new indirect drain may be needed if the room is remodeled/reconfigured (The current drawings don't appear to provide the code-required air gap required).



Plan showing storage room with opening and coolers in galley config.

Observation / Recommendations

General Observations

The Main Hall of the Civic Center is its largest room with a posted occupant load of 283 with tables and chairs. Entry to the hall is from the east between the pair of existing staircases that lead to the second floor and passing under a wood shingled overbuild. A large fixed stage is centered on the west wall. There is a large projection screen centered over the stage. Doors leading to the Apple Room are located on the west wall in the southwest corner of the room. Access to the Dining/Kitchen area is through a set of wide accordion doors in the northeast corner of the room. Doors to the Legion Room are located in the southeast corner of the room. The north, south and west walls are covered with a plastic laminate wainscot with a wood cap. Above the wood cap is a plastic laminate wall covering with another wood trim cap at about 8'. Above the upper wood cap the wall is covered in textured acoustic panels. The ceiling is a suspended acoustic ceiling with 2'x4' panels with 2x4 recessed fluorescent light fixtures and recessed can lights. The floor is stained concrete.

In discussions with the staff the following items were noted as desired improvements:

- ◆ Remove the wood shingled overbuild.
- ◆ Add a comprehensive sound system with speakers in every room. See 1.11.2 for additional information.
- ◆ The Main Hall is relatively dark in appearance and feel. Adding some touches of color, brighter colors and daylight was requested.
- ◆ New flooring was requested for the Main Hall. It should be very durable, easily cleanable and should not require a high amount of maintenance, such as stripping and waxing.
- ◆ New ceiling panels were discussed.
 - Given the age and discoloration of the existing ceiling grid if new acoustic panels are going to be installed it is recommended that the existing grid be painted, or removed and replaced entirely.
 - Another option for the ceiling, that would 'open' the Main Hall is to remove the acoustical ceiling and grid entirely and expose the roof structure.
- ◆ Replacement of the florescent light fixtures with new LED fixtures, perhaps dimmable.
- ◆ Possible addition of some high windows on the north and south walls could not only provide daylight but also add a sense of openness to the Main Hall.
 - This option would require an examination of the Main Hall roof truss bearing height and ceiling height compared to the top of the shed roof over the Kitchen and Legion Room additions to determine the available space for windows.
 - This modification would require structural analysis and could require significant structural upgrades.
- ◆ Another potential method of bringing daylight into the Main Hall is the installation of several reflective tubular skylights (SolaTube, solatube.com or similar). These style of tubular or solar-tunnel skylights can bring considerable daylight into to a space without introducing direct sunlight (glare) or heat gain. Several manufactures of these type of skylights have lenses/diffusers that look like regular 2x4 light fixtures. These fixtures can also be equipped with LED lighting in the diffusers. Bringing daylight into the space during the day and providing efficient electric lighting when needed.

Evaluation & Recommendations

◆ **Improvement** - Paint acoustical wall panels

Paint some of the existing textured acoustic wall panels white, or another 'lighter' color. It is recommended, at a minimum, that the acoustic panels between the dark green panels be painted white/lighter color.

◆ **Improvement** - New flooring

Install LVT or Rubber flooring in the Main Hall, and in the back/west hallway.

1.11.1 WOOD SHINGLE OVERBUILD

Observation / Recommendations

General Observations

The existing wood shingled overbuild expands the entire length of the east/entry wall. The bottom of the overbuild is approximately 4' deep and supports a gypsum board ceiling at about 8' high. From the bottom, the overbuild tapers back to the east wall like a mansard roof. In the center of the overbuild is a large opening (approximately 17'w x 5' tall) that recesses back to the existing east wall. In this recess is a mural showing a snow covered mountain and a lake. It is likely that this recess originally had windows in it for the movie projector when the building was a movie theater.

Evaluation & Recommendations

◇ **Improvement** - Remove shingled overbuild

Remove the existing wood shingled roofed overbuild: shingles, sheathing, gypsum board ceiling and ceiling and roof framing back to the east wall of the Main Hall.

◇ **Improvement** (*reference Section 1.12, page 34*)

If the overbuild is removed as described above this would allow for a mezzanine walkway to be constructed in its place. The construction of a new stair case, roughly where the office is currently located. It is recommended that the mezzanine walkway be at least 5' wide.



Existing shingled overbuild with mural in recess at former location of projection window

1.11.2 AUDIO AND SOUND SYSTEM

Observation / Recommendations

General Observations

The existing sound system consists of speakers mounted high along the north and south wall of the Main Hall with larger speakers mounted high on the west wall about 6' on either side of the projection screen. The controls and inputs are located in a cabinet. In talking with the staff they requested that the sound system be upgraded with the following goals/items:

- ◆ Speakers in both the Apple Room and the Legion Room. Each room with speakers should also be able to turn off the sound coming from the Main Hall system.
- ◆ It is recommended that additional inputs be installed in both the Apple and Legion Rooms so that each of those rooms can have independent audio/speaker system.
- ◆ The sound system should be a two two-tier type system that will allow staff to control volume, equalization etc., to protect the components and yet have a 'plug and play' aspect that will allow the public users (typically non-technical) to operate the system and plug in their microphones, computers, iPad, etc.

Evaluation & Recommendations

◇ **Improvement** - New audio and sound system

Upgrade the existing audio and sound system to accomplish the performance goals listed above. Staff reached out to Sousely Sound and Communication and they provided a proposal for upgrading the sound system in letter dated March 4, 2022 (See Attachment 2). This proposal does not include the addition of speakers in the Apple Room or the Legion Room as discussed above.



Existing speakers on West / back wall of the Main Hall

Observation / Recommendations

General Observations

The existing Office is approximately 215 square feet, and is located on the south end of the Lobby. It is accessed from the Main Hall through door in its southwest corner. The door is located in an alcove under the 2nd floor landing of the existing south stair. There is a small window in the east wall, near the southeast corner of the Office. This was likely the original ticket window when the building was a movie theater. There are two desks tightly fitted along the east wall. Lateral files, with a plastic laminate countertop, are located along the north wall of the Office and form a counter for the small service window that opens out to the Lobby. A large printer is located in the closet along the west wall. A third, small, desk is also located along the west wall. With the desks and file cabinets it appears that the office space does not meet current accessibility standards. The existing office is quite small for the current staffing levels and provides no space if additional staff is added. Additionally there is no private space, office or small conference room to review personnel issues or meet with those reserving the facility.

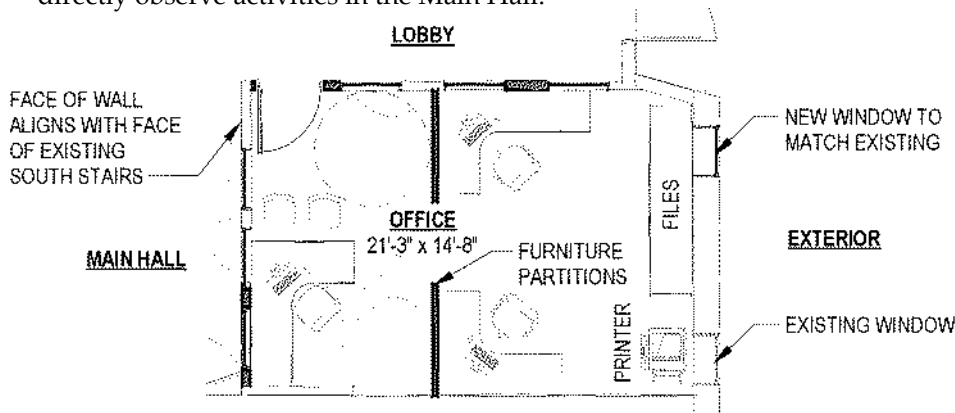
The following evaluation and recommendations will cover sections 1.12.1 Expansion and Function and 1.12.2 Staircase Coordination, as opposed to treating them as a separate sections, since they are integrally linked.

Evaluation & Recommendations

◇ Improvement - Enlarge existing Office

The following modifications to the existing Office space are recommended in the near term to provide the needed additional office space and improve efficiency and customer service:

- ◆ Remove the existing south stair case serving the second floor storage and office area and infill with framing and flooring so the space is fully usable to the second floor. The existing staircase opening has already been partially infilled on the second floor and is being used as storage space.
- ◆ Remove the existing alcove and door.
- ◆ Remove the existing closet walls, expanding the office out to the east wall of the Main Hall, extend this wall to the south wall of the Main Hall. Install a new door in the north wall of the office, approximately where the existing south stair case is located, adding approximately eighty to ninety square feet to the Office.
 - This will not result in adequate space to create a private office/conference room, but should allow three staff members to occupy and work efficiently within the enlarged Office.
- ◆ Recommend adding a second window in the east wall of the Office, to mirror the existing window. This will allow staff greater visibility to the entry of the building.
- ◆ Recommend replacing the existing service window with a larger service window.
- ◆ Recommend installing a new window, or windows, in the new west wall of the Office so staff can directly observe activities in the Main Hall.



Enlarge existing office

1.12.1 OFFICES - EXPANSION AND FUNCTION

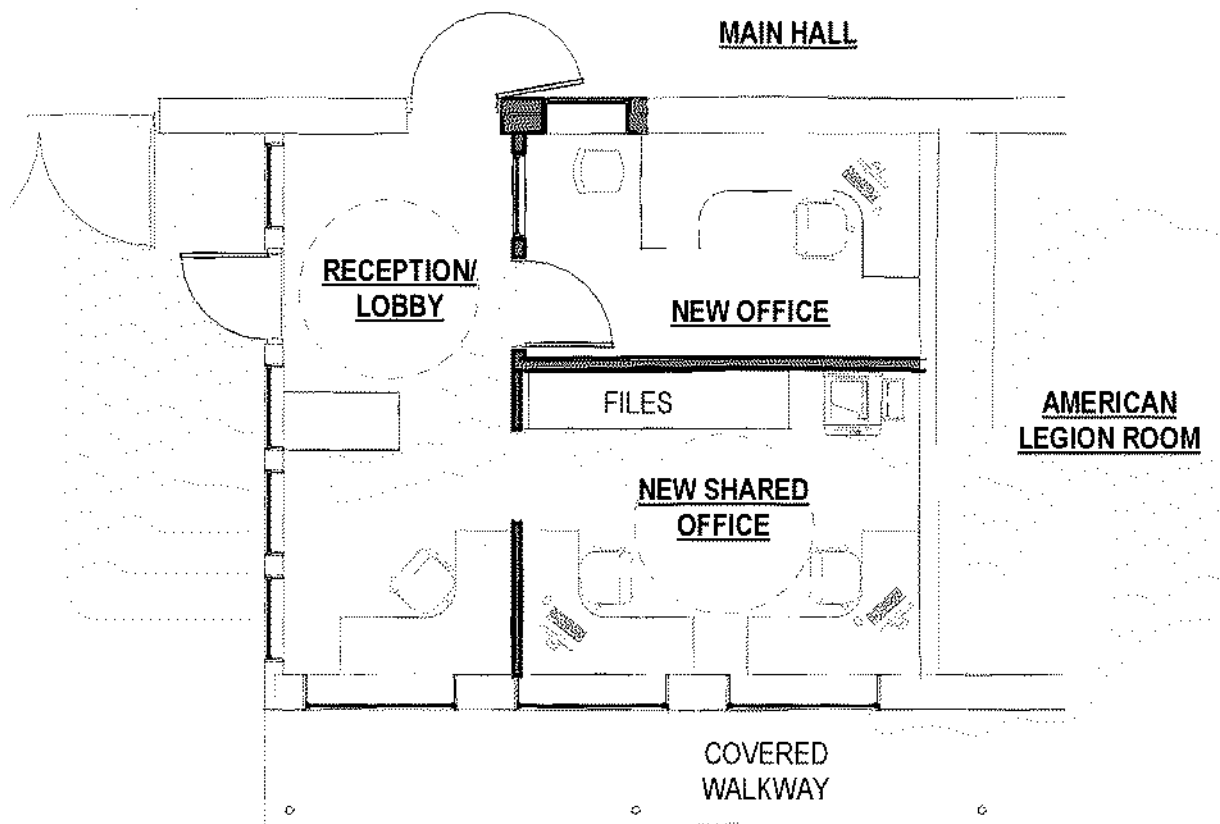
Evaluation & Recommendations

◇ **Improvement** - Relocate Office

- ◆ Relocate the staff offices into the existing Food Bank room. It is roughly twice as large as the current office space and there should be adequate for a small private office and 2 to 3 desks, file cabinets and printer/copier.
 - ◆ If a larger private office or additional desk space or work space is desired the west wall of the Legion Room (and the casework) could possibly be moved east a few feet. Or the office space could be expanded to the west as part of an addition/expansion.
- ◆ Add windows in the west wall to allow visibility/monitoring of the parking lot.
- ◆ Add windows and a door into the south wall of the new office to allow public access and visibility/monitoring of the parking lot.
- ◆ Add a single door between the new Office and the Main Hall.

Existing Office Space - If the Office is relocated to the Food Bank room as noted above.

- ◆ The current office space could be remodeled to be storage space, or small meeting room. Or the current office could be removed entirely to enlarge the Lobby area creating a seating or café space.
- ◆ If the existing office is removed and the additional space becomes a part of the Lobby it is recommended that several new windows be added in the exterior walls on both sides of the main entry.



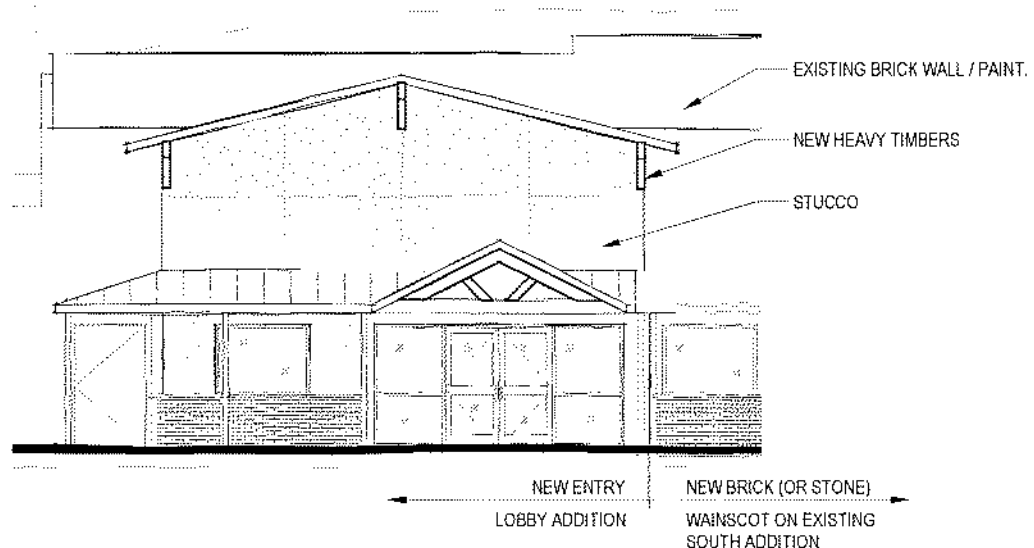
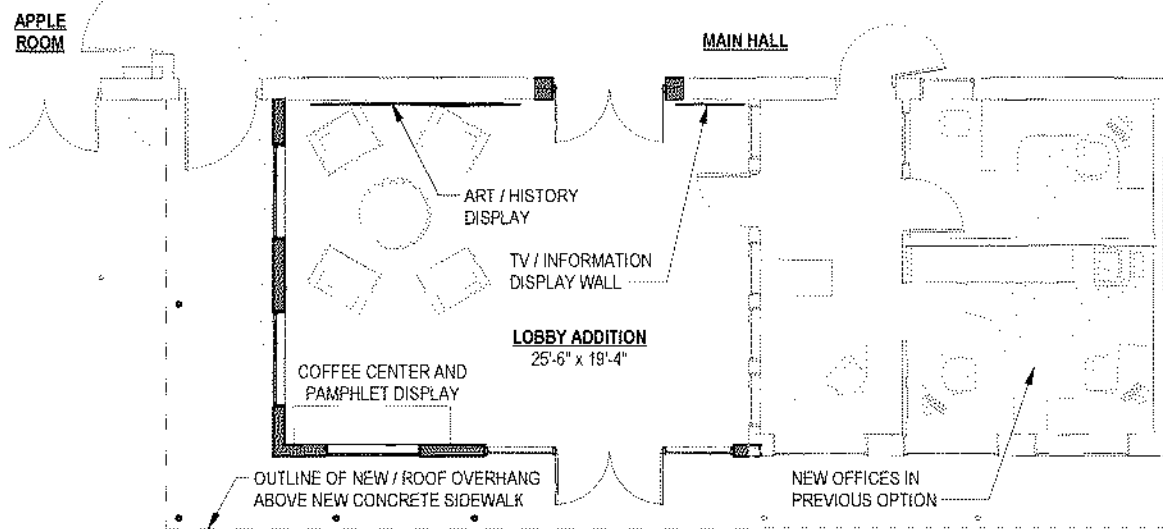
Office relocated to Food Bank Storage, with expansion

1.12.1 OFFICES - EXPANSION AND FUNCTION

Evaluation & Recommendations

◇ **Improvement** - Relocate Office with new Entry/Lobby

- ◆ Relocate the staff offices into the Food Bank room space as described on Page 33.
- ◆ Replace the existing large hollow metal doors west of the Food Bank/New Office with a pair of aluminum storefront doors with sidelights and a transom window above.
- ◆ Construct a new entry and Lobby to the west of the new Office. The new Lobby could consist of:
 - A set of double aluminum storefront doors, aligned with the new storefront doors noted above.
 - Storefront windows in both the west and south walls of the new Lobby.
 - Seating space with a few chairs, benches, etc.
 - There may also be space for a couple of café tables and chairs along with a coffee/juice cart/bar.
 - A display of photos/items from Selah's history, similar to what is in the existing Lobby, could also be included on the north wall.
- ◆ This Architect recommends that the new entry/Lobby space be nearly as tall as the Main Hall, and have a hip roof with standing seam metal roofing. It is also recommended that with this option all of the standing seam metal roofing be replaced to match the new standing seam metal roofing.



Offices relocated to Food Bank Storage and new Lobby addition (plan and elevation)

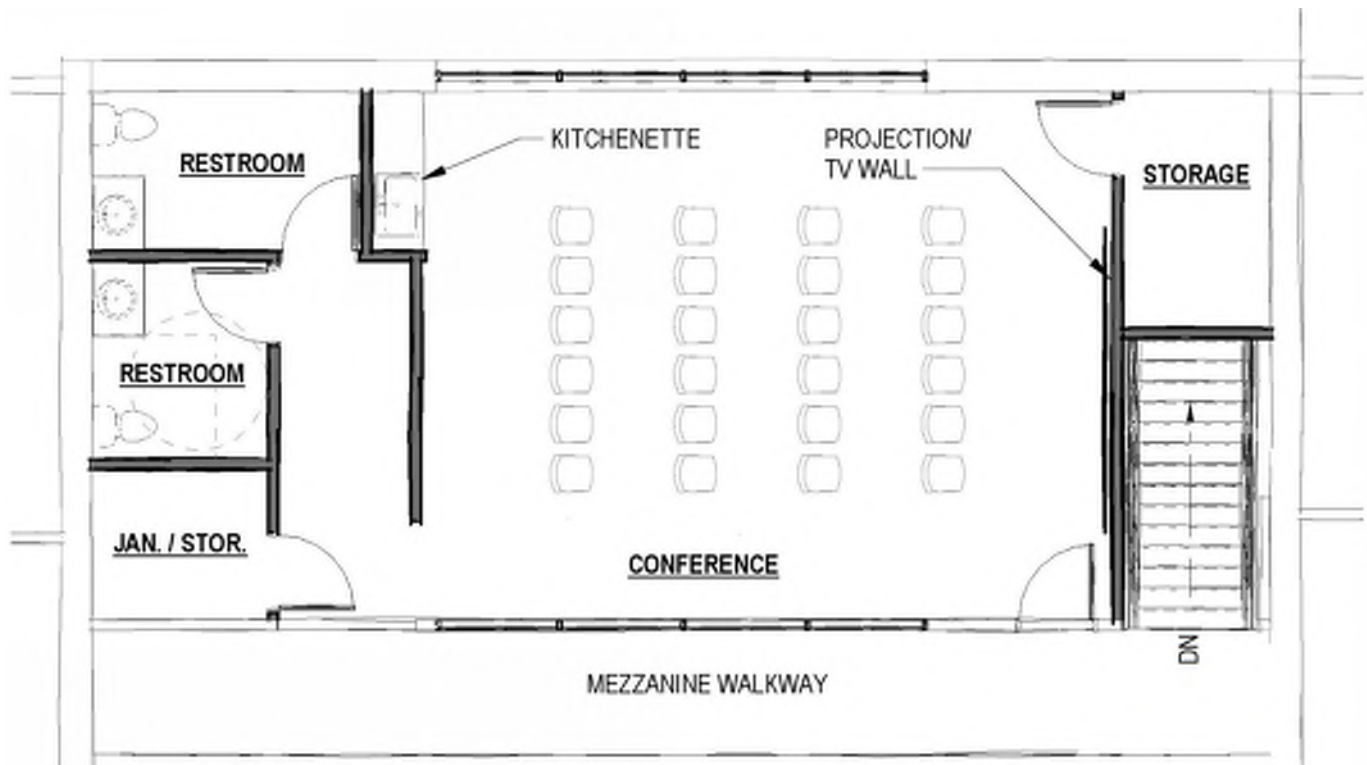
1.12.2 OFFICES - STAIRCASE COORDINATION

Evaluation & Recommendations

◇ **Improvement** - New Stairs and Conference Room

If the staff offices are moved to the current Food Bank room the following modifications to the existing Office space could be undertaken:

- ◆ Remove all the walls forming the current office and remove the two existing stair cases serving the second floor, including their second floor walls.
- ◆ Infill the existing staircase openings with new floor framing and sub flooring.
- ◆ Construct a new mezzanine walkway where the existing shingle overbuild is removed (*see Section 1.11.1 Wood Shingle Overbuild, page 31*).
- ◆ Construct a new stair where the current office is located to provide access to the new second floor mezzanine walkway.
- ◆ Remodel the second floor to create a new Conference Room.
 - Add storefront windows into the front/east wall (may require adjusting the location of the existing Civic Center sign).
 - Add storefront windows and doors in the wall between the new Conference Room and the Main Hall. This allow light from the exterior windows into the Main Hall and allow access from the new mezzanine walkway.
 - The new conference room could have an accordion door or folding partition in the middle to create two smaller conference rooms.
- ◆ Add two unisex restrooms at the north end of the new Conference Room.
- ◆ Add a small kitchenette, with a small fridge and bar sink.
- ◆ Install an audio/visual system in the new Conference Room.
 - Speakers should also be connected to the Main Hall system.



2nd floor Conference Room, new staircase, and mezzanine walkway

PROBABLE COSTS FOR REPAIRS, IMPROVEMENTS & EXPANSIONS

General Commentary

Opinions of probable costs for repairs are offered for general preliminary information only. Costs are based on approximate quantities/sizes, average national square foot costs gathered from R.S. Means and costs associated with recent projects of similar nature and scope familiar to BORArchitecture. Actual costs for work will be affected by factors such as: further investigation into the particular issue, extent of required work, duration of time to perform work, site/building access, soil conditions, market conditions, and other contingencies imposed by the owner and governing jurisdictions having authority over the project. To set budgets for repair or construction work, the services of competent contractors with several years of experience in repairing or constructing elements similar to those in this report will need to be contacted/contracted. *The probable costs do not include such expenses as: professional design/consulting fees, land surveying, testing, permitting, furniture and equipment, taxes, etc.*

Repair/Improvement Issues (Full list)

| | <u>Rough Opinion of Probable Costs</u> |
|--|---|
| ◇ Site - Repair paving, seal coat & restripe (Page 5) | \$80,000 to \$120,000 |
| ◇ Site - New accessible ramps - South sidewalk (Page 6) | \$2,000 to \$2,500 |
| ◇ Site - New accessible ramp - East end of North sidewalk (Page 6) | \$1,500 to \$2,000 |
| ◇ Site - New accessible ramp - West exit door (Page 6) | \$4,500 to \$6,000 |
| ◇ Site - New accessible ramp for Kitchen (Page 6 & 29) | \$15,000 to \$25,000 |
| ◇ Site/Bldg. - Modify swing of east exterior door from Dining (Page 7) | \$1,800 to \$4,000 |
| ◇ Site/Bldg. - Remove & replace accordion doors (Page 7) | \$38,000 to \$45,000 |
| ◇ 1.1 - Repair north and south beams (Page 8) | \$1,500 to \$2,500 |
| ◇ 1.1 - Repair vertical siding panels (Page 8) | \$2,000 to \$3,500 |
| ◇ 1.1.1 - Cover Exposed Aggregate with Stucco (Page 10) | \$25,500 to \$40,000 |
| ◇ 1.1.2 - New Framed Metal Roof Entry Canopy (Page 11) | \$15,000 to \$20,000 |
| ◇ 1.1.2 - New Entry/East Elevation (Page 12) | \$125,000 to \$200,000 (Including New Stucco 1.1.1.) |
| ◇ 1.1.3 - Option 1- Doors to remain unlocked sign (Page 13) | \$150 to \$400 |
| ◇ 1.1.3 - Option 2 - New egress hardware on existing door (Page 13) | \$1,800 to \$3,000 |
| ◇ 1.1.3 - Option 3 - New entry doors (Page 13) | \$10,000 to \$15,500 |
| ◇ 1.2 - Replace missing concrete block wall caps (Page 14) | \$2,400 to \$3,500 |
| ◇ 1.2 - New metal wall caps (Page 14) | \$4,500 to \$6,000 |
| ◇ 1.2 - Clean roof drains (Page 15) | \$500 to \$1,200 |
| ◇ 1.2 - Paint existing metal roofing (single color) (Page 15) | \$12,500 to \$18,000 |
| ◇ 1.2 - Install gutters on North and South metal roofs (Page 15) | \$2,500 to \$3,800 |
| ◇ 1.2.1 - Modify or replace existing collector heads (Page 17) | \$1,500 to \$2,500 |
| ◇ 1.2.1 - Enlarge scuppers and new collectors heads (Page 17) | \$3,800 to \$5,500 |
| ◇ 1.2.1 - Repair brick (Page 17) | \$1,800 to \$2,500 |
| ◇ 1.2.1 - Relocate electrical conduit at scuppers (Page 17) | \$1,800 to \$3,500 |
| ◇ 1.3 - Deferred repairs to Back Restrooms (Page 18) | \$2,500 to \$3,000 |
| ◇ 1.3 - Privacy panels between urinals (no plumbing work) (Page 18) | \$2,500 to \$4,000 |
| ◇ 1.3.1 - Addition of single shower room(s) (Page 19) | \$18,500 to \$25,500+ (per restroom) |
| ◇ 1.4 - Safety upgrades to existing Stage (Page 20) | \$2,000 to \$3,500 |
| ◇ 1.4 - Remove existing Stage (Page 20) | \$1,500 to \$3,000 |
| ◇ 1.6 - Folding partition at Apple Room (Page 22) | \$44,000 to \$55,000+ |
| ◇ 1.6 - Add restroom(s) at Apple Room (Page 23) | \$15,000 to \$20,000+ |
| ◇ 1.6 - Flooring in the back hallway (Page 23) | \$5,000 to \$7,500 |

Probable costs continued on the following page

PROBABLE COSTS FOR REPAIRS, IMPROVEMENTS & EXPANSIONS

Continued

| <u>Repair/Improvement Issues</u> (Full list - continued) | <u>Rough Opinion of Probable Costs</u> |
|---|--|
| ◇ 1.7.2 - Replace existing flooring in American Legion Room (Page 24) | \$7,000 to \$11,000 |
| ◇ 1.7.3 - Option 1 - New double doors to Main Hall (Page 25) | \$6,500 to \$10,000 |
| ◇ 1.7.3 - Option 2 - Folding partition to Main Hall (Page 25) | \$30,000 to 38,500 |
| ◇ 1.7.3 - Replace exterior door with new door and (2) windows (Page 25) | \$8,000 to \$13,000 |
| ◇ 1.8 - Accessibility and Life Safety updates (Page 26) <i>(Excludes; new Kitchen door, new drinking fountain, egress hardware at front door and items listed as 'Other' on the City review)</i> | \$6,500 to \$9,500 |
| ◇ 1.10 - New door between Dining and Kitchen (Page 28) | \$7,800 to \$12,000 |
| ◇ 1.10 - Accessibility issues at Kitchen handwashing sink (Page 28) | \$1,800 to \$3,000 |
| ◇ 1.10.1 & 2 - Ice machine and fridge/freezer relocation (Page 29) | \$10,000 to \$15,500 |
| ◇ 1.11 - Paint acoustical wall panels (Page 30) | \$750 to \$1,100 |
| ◇ 1.11 - New Flooring in Main Hall (LVT or Rubber) (Page 30) | \$45,000 to \$70,000 |
| ◇ 1.11.1 - Remove wood shingled overbuild in Main Hall (Page 31) | \$3,500 to \$5,000 |
| ◇ 1.11.2 - New audio and sound system (Page 32) | \$7,000 to \$10,000 |
| ◇ 1.12 - Enlarge Existing Office (Page 33) | \$18,000 to \$24,000 |
| ◇ 1.12.1 - Relocate Office to Food Bank Room (Page 34) | \$30,500 to \$45,000 |
| ◇ 1.12.1 - Relocate office with new Entry/Lobby (Page 35) | \$107,500 to \$115,500 <i>(Not including Relocated Office cost above)</i> |
| ◇ 1.12.2 - New Stairs and Conference Room (Page 36) | <u>\$150,000</u> to <u>\$185,000</u> |
| | Total: \$924,100 to \$1,216,700 |

The following list of Safety Issues is taken from the full list of Repair/Improvements to help clarify / identify the specific issues.

| <u>Safety Issue Improvements</u> (From full list) | <u>Rough Opinion of Probable Costs</u> |
|---|---|
| ◇ Site - New accessible ramps - South sidewalk | \$2,000 to \$2,500 |
| ◇ Site - New accessible ramp - East end of North sidewalk | \$1,500 to \$2,000 |
| ◇ Site - New accessible ramp - West exit door | \$4,500 to \$6,000 |
| ◇ Site/Bldg. - Modify swing of east exterior door from Dining | \$1,800 to \$4,000 |
| ◇ Site/Bldg. - Remove & replace accordion doors | \$38,000 to \$45,000 <i>(If not removed)</i> |
| ◇ 1.1.3 - Option 1- Doors to remain unlocked sign | \$150 to \$400 <i>(Options 2 & 3 also viable)</i> |
| ◇ 1.2.1 - Relocate electrical conduit | \$1,800 to \$3,500 |
| ◇ 1.4 - Safety upgrades to existing Stage | \$2,000 to \$3,500 |
| ◇ 1.7.2 - Replace existing flooring in American Legion Room | <u>\$7,000</u> to <u>\$11,000</u> |
| | Total: \$58,750 to \$77,900 |

PROBABLE COSTS FOR REPAIRS, IMPROVEMENTS & EXPANSIONS

Continued

The following list of Accessibility Issues is taken from the full list of Repair/Improvements for clarity in identifying them. Some of these issues are duplicated on the Safety Issue Improvement list.

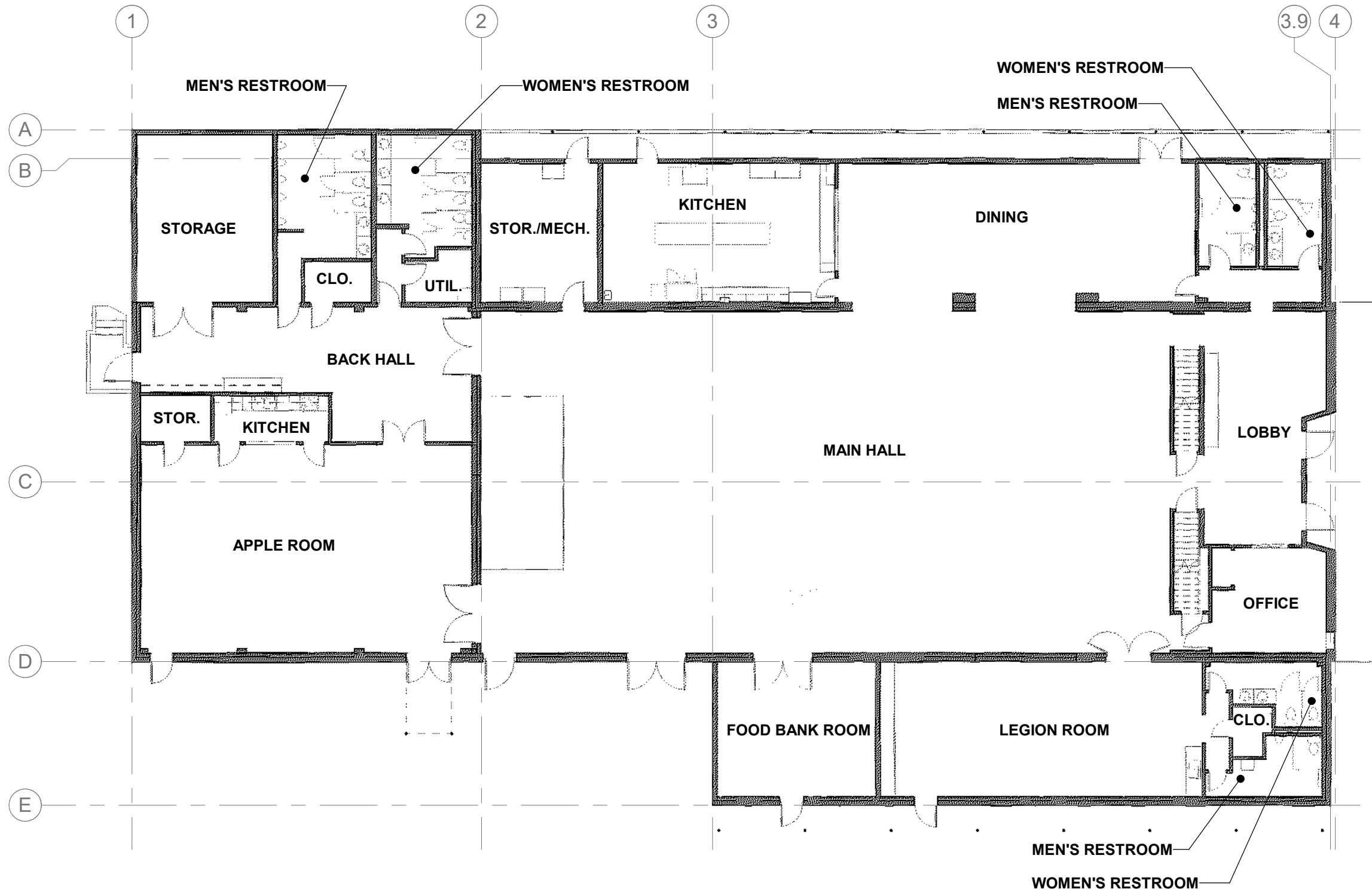
| <u>Accessibility Issue Improvements</u> (From full list) | <u>Rough Opinion of Probable Costs</u> |
|--|--|
| ◇ Site - New accessible ramps - South sidewalk | \$2,000 to \$2,500 |
| ◇ Site - New accessible ramp - East end of North sidewalk | \$1,500 to \$2,000 |
| ◇ Site - New accessible ramp - West exit door | \$4,500 to \$6,000 |
| ◇ Site/Bldg. - Modify swing of east exterior door from Dining | \$1,800 to \$4,000 |
| ◇ 1.8 - Accessibility and Life Safety updates (Excludes; new Kitchen door, new drinking fountain, egress hardware at front door and items listed as 'Other' on the City review) | \$6,500 to \$9,500 |
| ◇ 1.10 - Accessibility issues at Kitchen handwashing sink - relocate | <u>\$1,800 to \$3,000</u> |
| | Total: \$16,300 to \$24,000 |

The probable costs listed in this section, pages 38 and 39, for the improvements and remodel options of the existing building, assume the finished project will provide a budget conscious municipal building with basic finishes and systems. The final design, (scope of work, structural changes and required updates) and finish selections (such as; wall and floor finishes, glazing selections, door types, etc.) along with lighting and data system designs and selection will impact the probable costs of construction.

Please note that the above costs do not include the 'Soft Costs' such as; financing, taxes, professional architectural, engineering and design fees, land surveying, permitting fees, investigation and testing or furniture and equipment, etc. Soft costs can range between 25% to 35% plus of the total project budget.

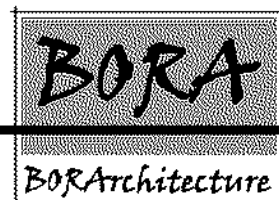
Prior to setting final budgets for any of the improvements, or combination of improvements and expansions the complete scope of work should be identified and a complete project budget established. The budget should include; construction cost estimate based on final scope of work, architectural and engineering fees, permits, and other soft costs.

| | |
|---------------|---|
| Attachment #1 | Floor Plan of Existing Civic Center |
| Attachment #2 | New Sound System quote from Sousely Sound |
| Attachment #3 | Floor Plan of Remodeled Civic Center |
| Attachment #4 | Exterior Elevations of Remodeled Civic Center |



EXISTING 1ST FLOOR PLAN

1/16" = 1'-0"



BORA Architecture, PLLC
 1520 N. 16th Avenue, Suite C
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SELAH CIVIC CENTER EVALUATION AND PLANNING

10/28/22

March 4, 2022

Selah Civic Center
Attn: Ron Anderson
216 S. 1st Street
Selah, WA 98942

Dear Ron,

Thank you for giving Souselly Sound & Communications the opportunity to propose these audio upgrades for the Selah Civic Center. We have always been locally owned and operated, serving the Central Washington area, since 1988. We are low-voltage electrical and telephony contractor, licensed and bonded in the State of Washington, contractor #SOUSLSI153MT.

During our walk through of the center, you requested for us to reconfigure the existing system to provide a versatile, yet simple system with an easy to understand operation by non-technical people. We have designed a system that will meet these criteria.

The main mixer and amplifier will be replaced with an Ashly Audio model PEMA 4250 mixer/amplifier that will be installed in your existing cabinet. The audio sources will be terminated external to the cabinet to allow two hardwired microphone inputs plus a line level input (think RCA jacks) for dance instructors, etc. A wireless microphone input and the audio from the projector will complete the five user controlled sources.

An Ashly WR-5 wall mounted control will allow for level adjustment of those five inputs with a simple up/down set of push buttons. A WR-2 wall remote will also be provided to control power and select the type of event that will be occurring. Both controls will be secured external to the rack, allowing the cabinet to remain secured while in operation.

All other settings including equalization and signal limiting to protect the components, will be software locked to prevent tampering and random changes by others. The cabinet will be configured to discourage tampering of the interconnections as well.

The existing main stage speakers will be upgraded to the TOA HS-1500 speaker system with a greatly improved coverage pattern and the ability to be aimed specifically to the general seating areas thereby improving clarity and helping reduce unproductive echoes in the facility. The existing Bose speakers will be repurposed as delay speakers for additional coverage with a full house.

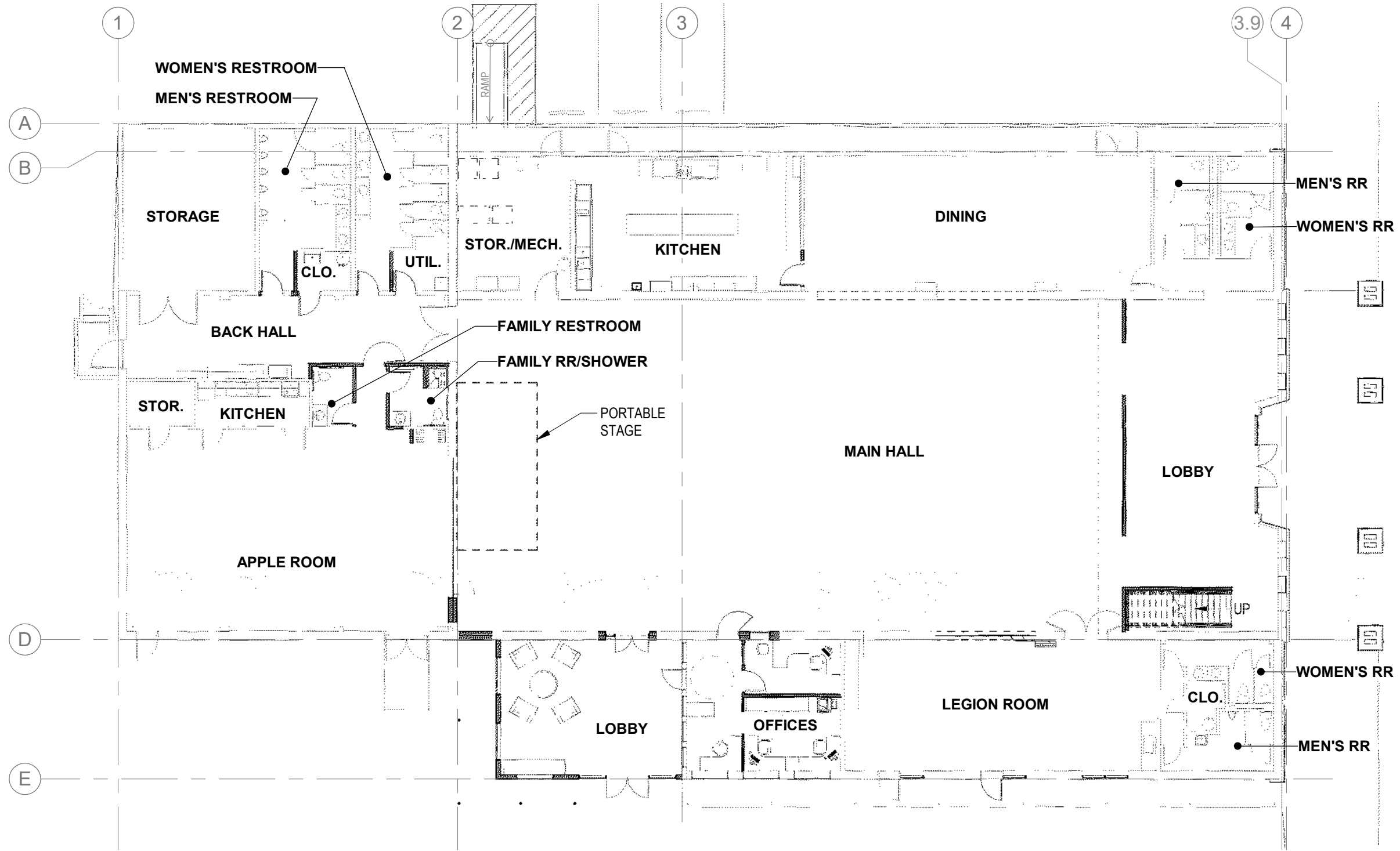
A JTS handheld wireless microphone system will be configured for use and secured in the cabinet. A TOA PM-660 desk style paging microphone will be provided for general and emergency paging to the main room and will be installed in the office area.

The investment for this audio upgrade as described above, installed with training, is \$6,612.40 plus a low-voltage electrical permit in the amount of \$57.40. The total investment is \$6,669.80 plus sales taxes. All materials and labor provided by Souselly Sound and Communications will come with a one-year warranty.

Thank you again for giving us the opportunity to propose these upgrades for you and the Selah Civic Center. We look forward to working with you on this project. If you have any questions, please give us a call at 248-4848.

Sincerely,

Andy Evans
Souselly Sound & Communications

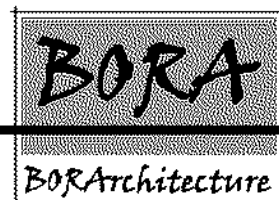


PLAN OPTIONS SHOWN:

- 1.1.2 - NEW FRONT ENTRY (PG. 12)
- 1.6 - APPLE ROOM FOLDING PARTITION (PG. 22)
- 1.6 APPLE ROOM RESTROOMS (PG. 23)
- 1.7 - LEGION ROOM FOLDING PARTITION (PG. 25)
- 1.10.1 & 1.10.2 - KITCHEN UPDATE WITH RAMP AND FOOD STORAGE (PG. 29)
- 1.12.1 - NEW OFFICE & ENTRY ADDITION (PG. 35)
- 1.12.2 - NEW STAIRS UP TO MEZZANINE CONFERENCE ROOM

POSSIBLE NEW 1ST FLOOR PLAN

1/16" = 1'-0"

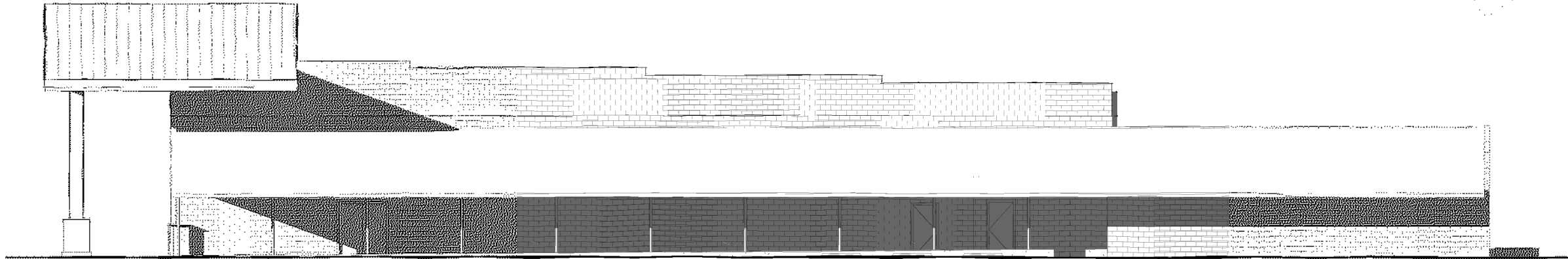


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**SELAH CIVIC CENTER EVALUATION
 AND PLANNING**

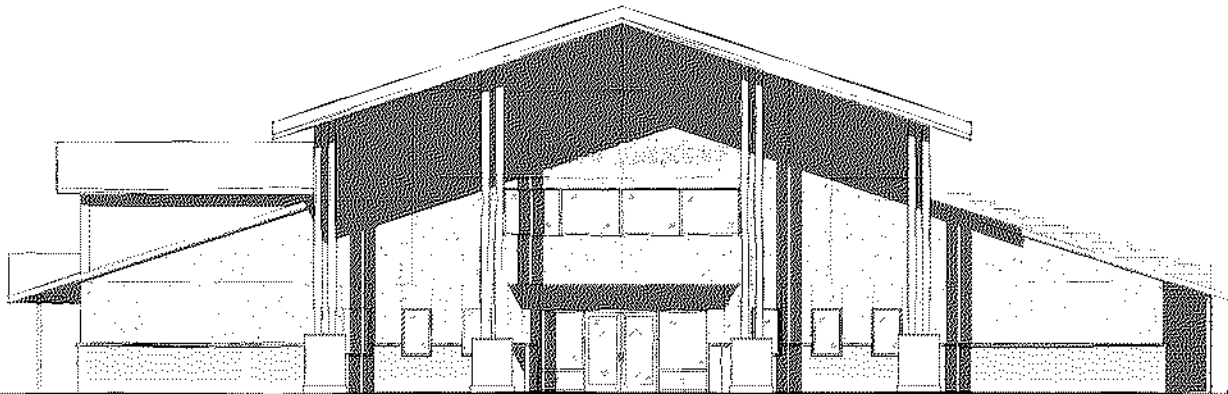
10/28/22

- OPTIONS SHOWN:**
- 1.1.2 - NEW FRONT ENTRY (PG. 12)
 - 1.12.1 - NEW OFFICE & ENTRY ADDITION (PG. 35)



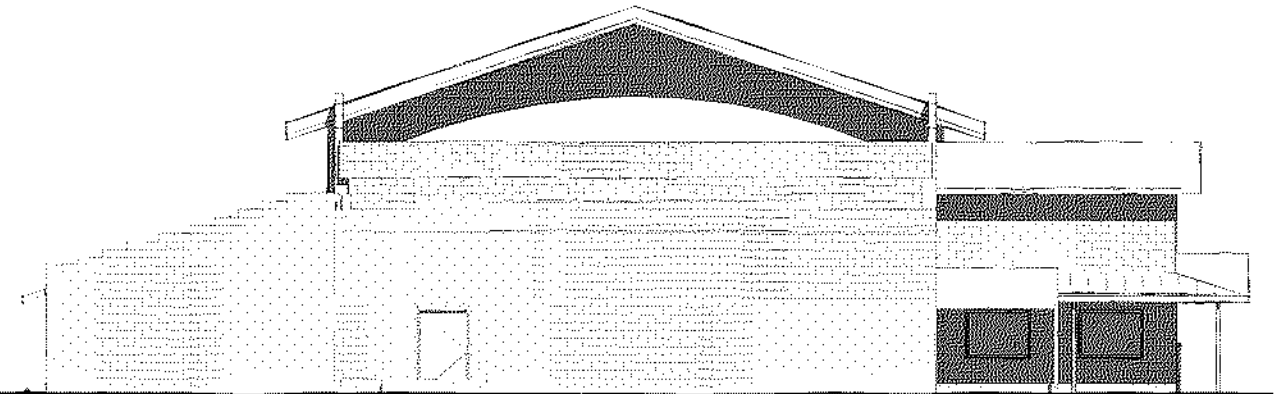
EXTERIOR ELEVATION - NORTH

1/16" = 1'-0"



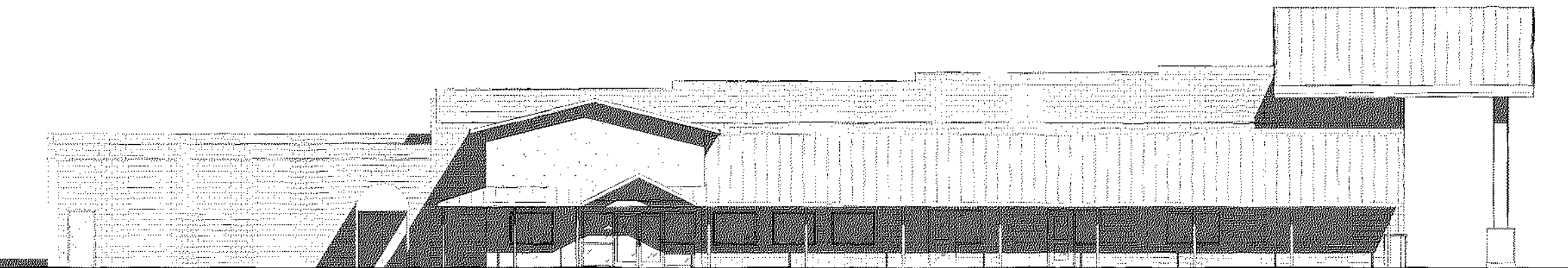
EXTERIOR ELEVATION - EAST

1/16" = 1'-0"



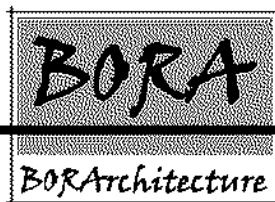
EXTERIOR ELEVATION - WEST

1/16" = 1'-0"



EXTERIOR ELEVATION - SOUTH

1/16" = 1'-0"



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**SELAH CIVIC CENTER EVALUATION
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